

10255 RESTHAVEN DRIVE

DEVELOPMENT VARIANCE PERMIT APPLICATION



NEW CUSTOM HOME: 10255 Resthaven Dr.

SIDNEY, BC



201-5325 Cordova Bay Road
Victoria, BC V8Y 2L3
250.999.9893
hello@hoyt.co | www.hoyt.co

Lot 1

KEY PLAN:



PROJECT INFORMATION:

SITE ADDRESS: 10255 RESTHAVEN DRIVE
SIDNEY, BC
V8L 3H2

LOT 4, PLAN VIP18086, SECTION 14, RANGE 4E, NORTH SAANICH LAND DISTRICT

SCOPE OF WORK:

CONSTRUCTION OF A NEW SINGLE FAMILY DWELLING

PROJECT DIRECTORY:

DESIGNER: HOYT DESIGN CO.
250.999.9893
HELLO@HOYT.CO

GENERAL CONTRACTOR: TBD

STRUCTURAL ENGINEER: TBD

SURVEYOR: WEY MAYENBURG LAND SURVEYING INC.
250.656.5155
BRENT@WEYSURVEYS.COM

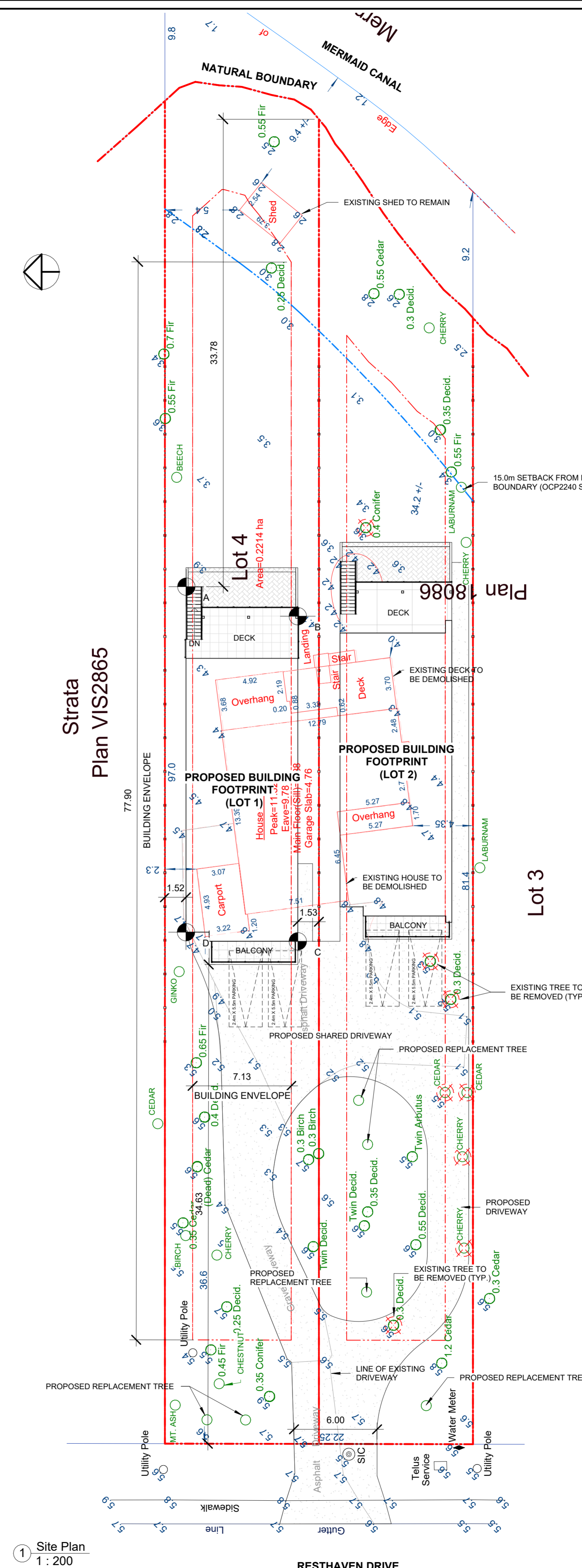
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- A0.0 SITE PLAN & ZONING ANALYSIS
- A1.1 FOUNDATION & MAIN FLOOR PLAN
- A1.2 SECOND FLOOR & ROOF PLAN
- A2.1 ELEVATIONS
- A2.2 ELEVATIONS
- A3.1 SECTIONS & ASSEMBLIES
- A4.1 DETAILS

R2-ESA ZONING ANALYSIS:

LOT AREA:	1086.5m ²	
FLOOR ELEVATIONS:	MAIN FLOOR: 5.00m	
	SECOND FLOOR: 8.09m	
	GARAGE SLAB: 4.85m	
AVERAGE GRADE:	4.41m	
F.S.R.:	ALLOWABLE	PROPOSED
	NO RESTRICTION	N/A
GROSS FLOOR AREA:	ALLOWABLE	PROPOSED
GARAGE:	EXEMPT	43.6m ² (EXEMPT)
MAIN FLOOR:		111.1m ²
SECOND FLOOR:		153.7m ²
TOTAL:	NO RESTRICTION	264.8m ²
LOT COVERAGE:	ALLOWABLE	PROPOSED
HOUSE:	30.0%	18.6% (202.2m ²)
HEIGHT:	ALLOWABLE	PROPOSED
HOUSE:	8.00m	7.67m
SETBACKS:	ALLOWABLE	PROPOSED
FRONT (W):	7.50m	34.63m
REAR (E):	5.50m	33.78m
SIDE (S):	2.00m	1.53m (VARIANCE REQUIRED)
SIDE (N):	2.00m	1.52m (VARIANCE REQUIRED)
BUILDING ENVELOPE:	ALLOWABLE	PROPOSED
WIDTH:	MINIMUM 9.00m	8.13m (VARIANCE REQUIRED)
LENGTH:	MINIMUM 9.00m	77.14m

AVERAGE GRADE CALC.	
POINT	ELEVATION (HOUSE)
A	3.96m
B	4.09m
C	4.83m
D	4.75m
TOTAL	17.63 / 4 = 4.41m



- SERVICE CONNECTIONS:**
- HDC IS NOT RESPONSIBLE FOR THE DESIGN AND/OR LOCATION OF SERVICE CONNECTIONS. IT IS THE RESPONSIBILITY OF THE OWNER / CONTRACTOR, PRIOR TO CONSTRUCTION TO:
 - PHYSICALLY LOCATE ALL STORM & SEWER CONNECTIONS FOR THE SITE
 - CONFIRM INVERT / CONNECTION ELEVATIONS FOR THE STORM AND SEWER SYSTEMS
 - ENSURE THAT BUILDING ELEVATIONS (ALL FLOORS, CRAWLSPACE AND/OR DESIGN OF PUMPED DRAINAGE SYSTEMS (WHERE NECESSARY) TO BE BY OTHER
 - COMMENCEMENT OF CONSTRUCTION OR ANY PART THEREOF CONSTITUTES ACCEPTANCE OF THE DRAWINGS, ACCEPTANCE OF THE SITE CONDITIONS, AND MEANS DIMENSIONS AND ELEVATIONS HAVE BEEN CONSIDERED, VERIFIED, AND ARE ACCEPTABLE

- GENERAL NOTES:**
- All drawings, plans, models, designs, specifications and other documents prepared by Hoyt Design Co (HDC) and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of HDC whether the work is executed or not, and HDC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
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Dr. Lot 1**
2304

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Site Plan & Zoning
Analysis

A0.0

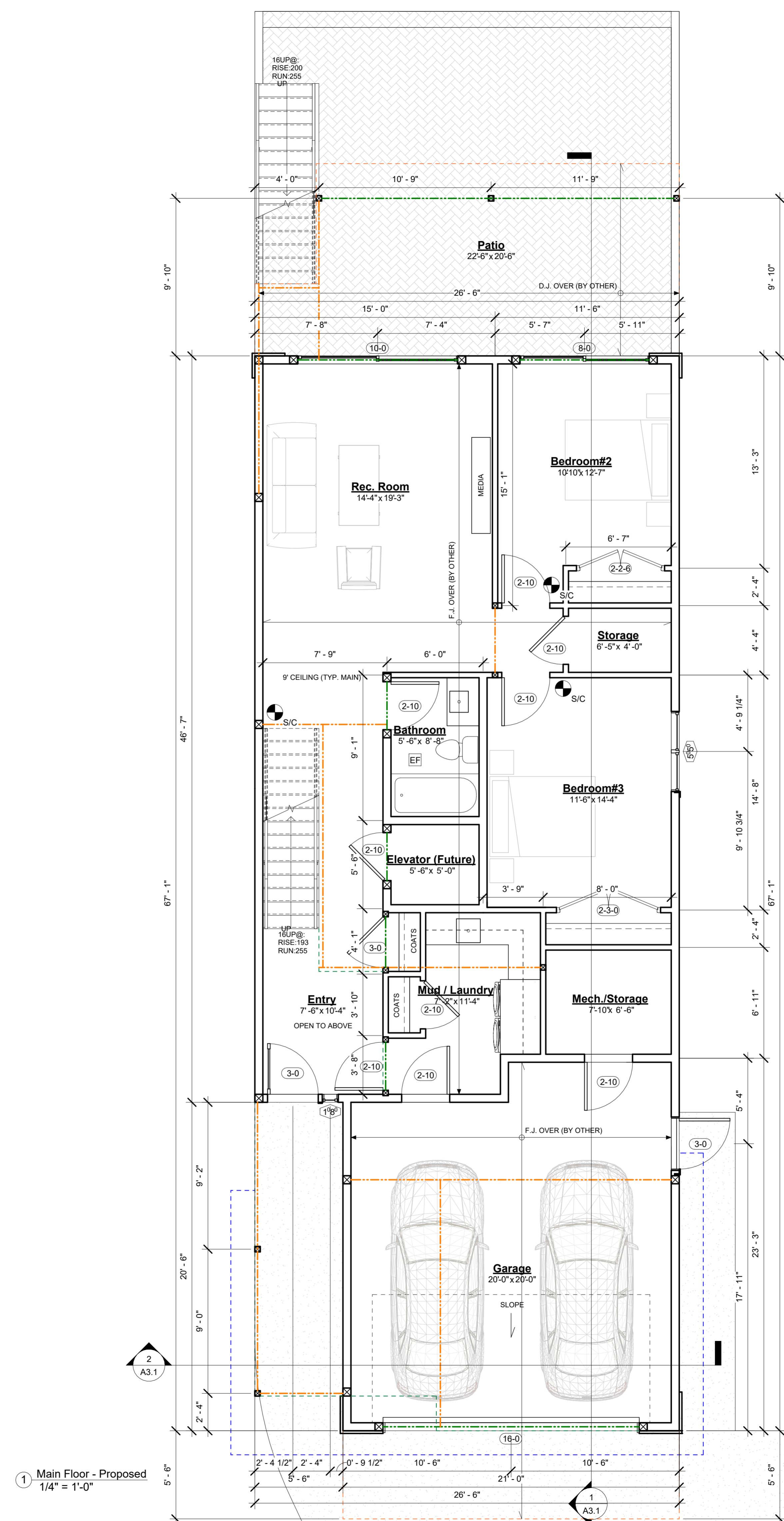
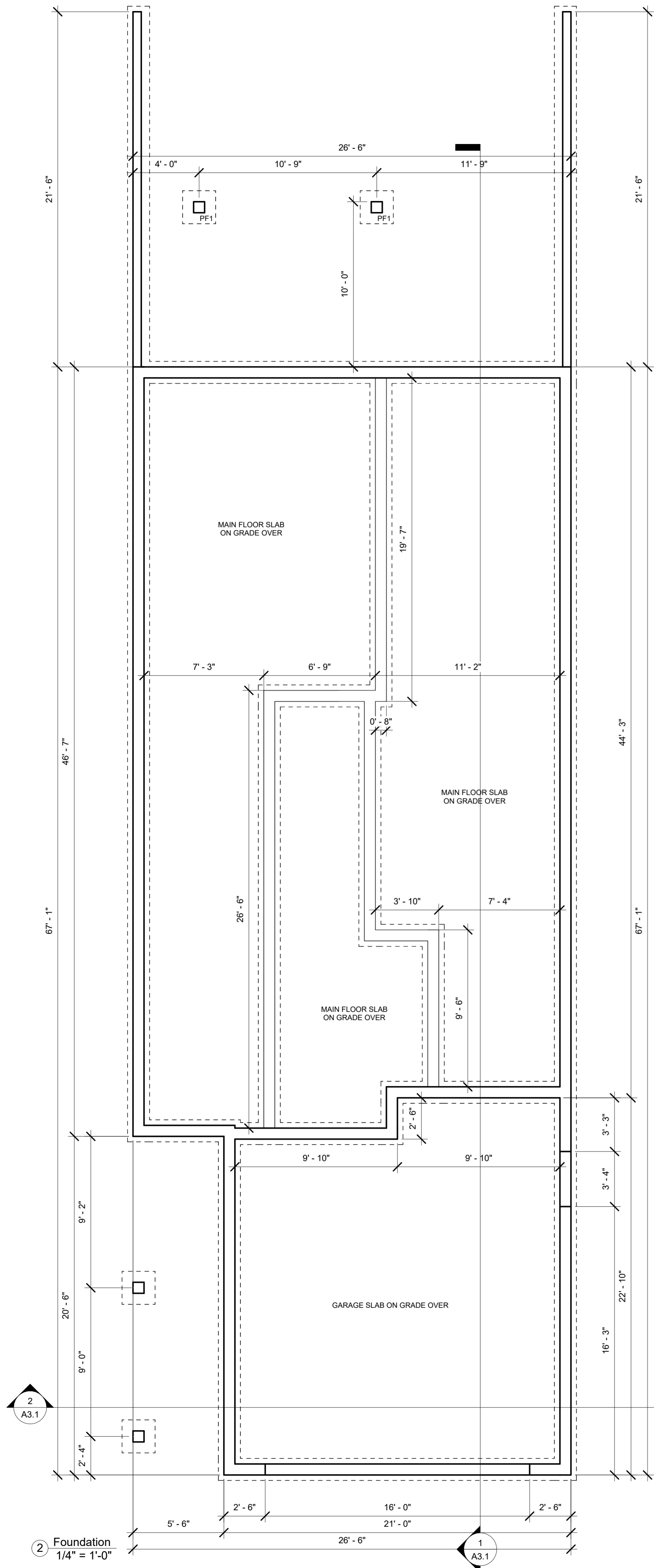
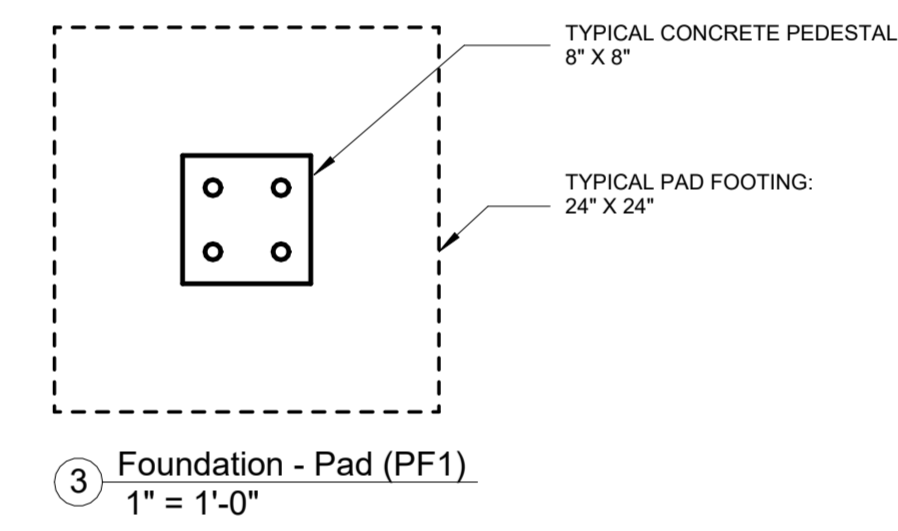
1 Site Plan
1 : 200

- FRAMING NOTES:**
- ALL FRAMING TO BE IN ACCORDANCE WITH THE 2018 BC BUILDING CODE
 - ALL LUMBER TO BE SPF#2 OR BETTER UNLESS NOTED OTHERWISE
 - ALL EXTERIOR WALL AND ROOF SHEATHING TO BE 1/2" STANDARD FIR PLYWOOD UNLESS NOTED OTHERWISE
 - ALL EXPOSED EXTERIOR POSTS TO BE 6X6 MIN.
 - ALL LINTELS TO BE 2-PLY 2X10 U.N.Q.
 - ALL INTERIOR DOORS TO PROVIDE MIN. 2-STUDS E/S AT JAMB FRAMING
 - TYPICAL DOOR / WINDOW HEAD HEIGHT:
MAIN FLOOR: 8'
SECOND FLOOR: 8' (VARIES)
 - ALL EXPOSED EXTERIOR FRAMING TO BE PRESERVATIVE TREATED LUMBER; FIELD TREAT ALL CUTS
 - DESIGN LOADS:
SIDNEY: Ss: 1.6kPa
Sr: 0.2kPa

PLAN LEGEND

WALL	
ROOF OVER	
FLOOR OVER	
DECK OVER	
WALL BELOW	
POST	
FLUSH BEAM OVER	
DROP BEAM OVER	
GIRDER TRUSS OVER	
S/C DETECTOR	
DOOR SIZE	
WINDOW SIZE	
JOIST SPAN DIRECTION	
LINE OF INTERIOR VAULT	

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FLOOR AREA

MAIN FLOOR:	1196 SF
SECOND FLOOR:	1655 SF
TOTAL LIVING SPACE:	2851 SF
GARAGE:	469 SF
TOTAL BUILDING SF:	3320 SF

DRAWING SCALE: 1/4" = 1'-0" ALL MEASUREMENTS ARE IN FEET



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Foundation & Main Floor Plan

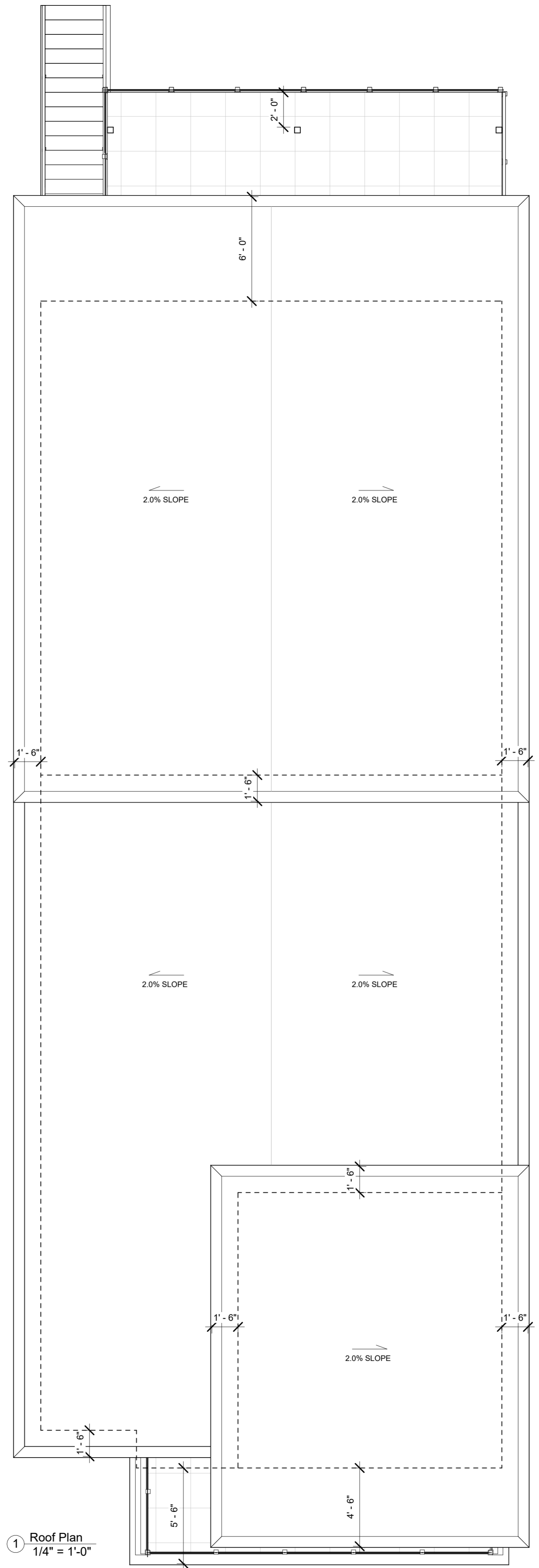
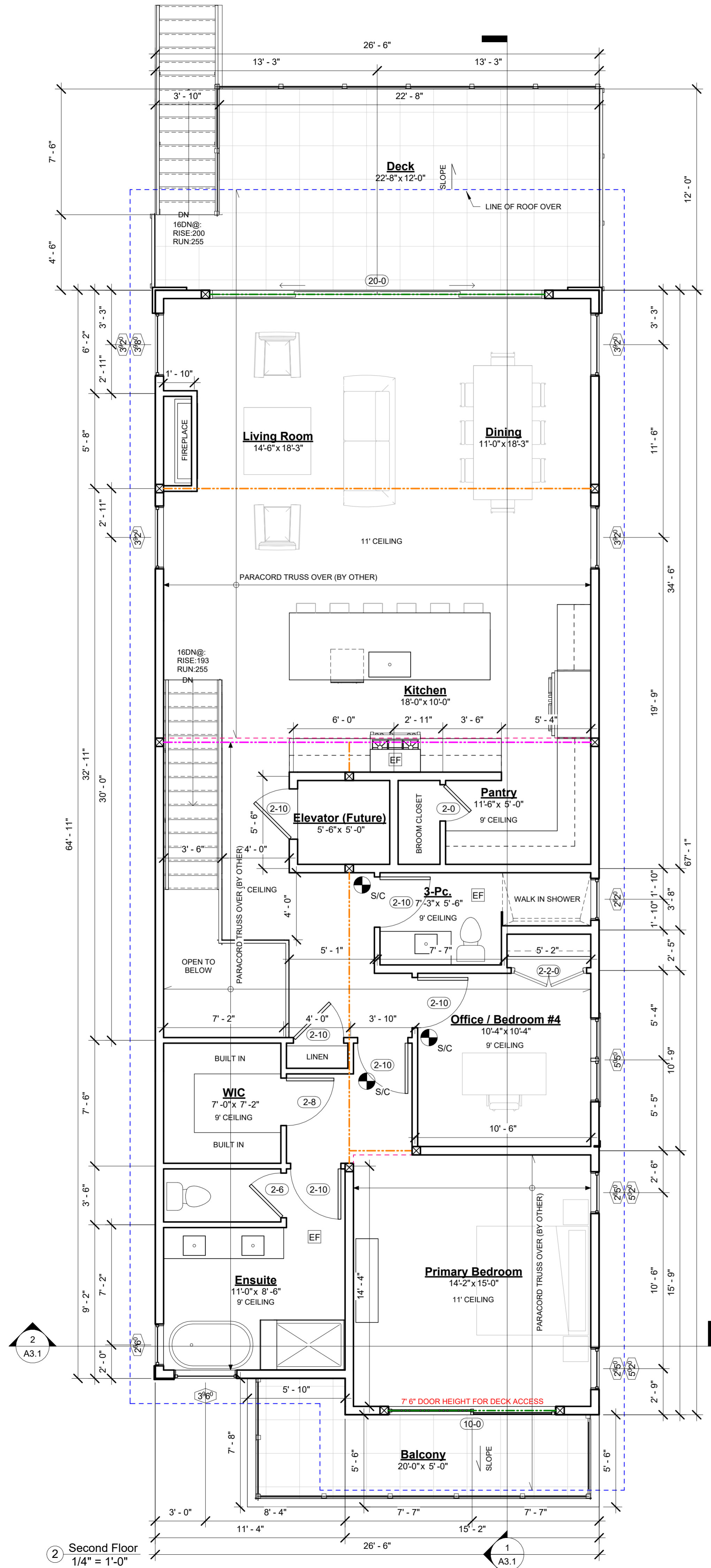
A1.1

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PLAN LEGEND

WALL	
ROOF OVER	
FLOOR OVER	
DECK OVER	
WALL BELOW	
POST	
FLUSH BEAM OVER	
DROP BEAM OVER	
GIRDER TRUSS OVER	
S/C DETECTOR	
DOOR SIZE	
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Second Floor & Roof Plan

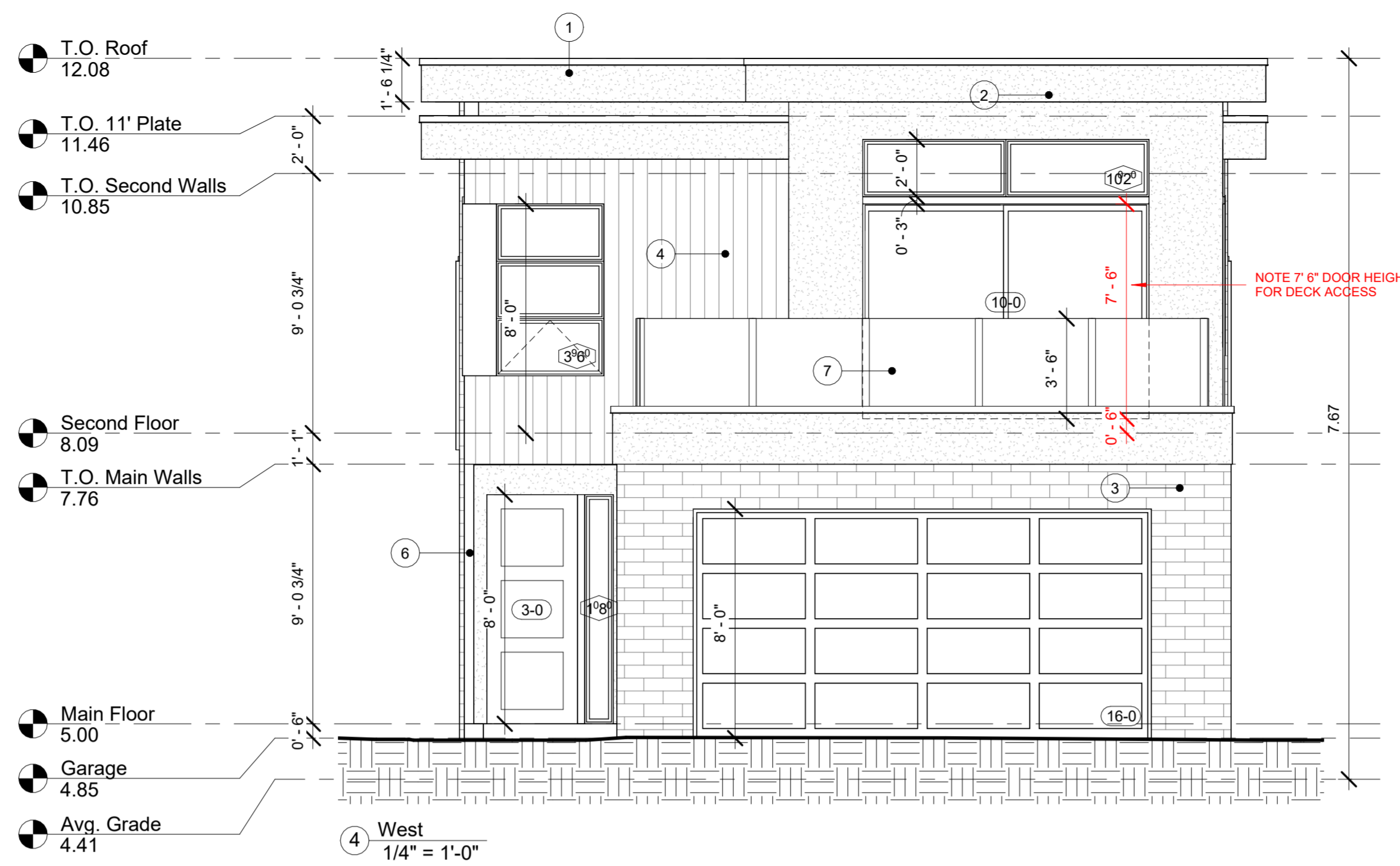
A1.2

2 Second Floor
1/4" = 1'-0"

1 Roof Plan
1/4" = 1'-0"

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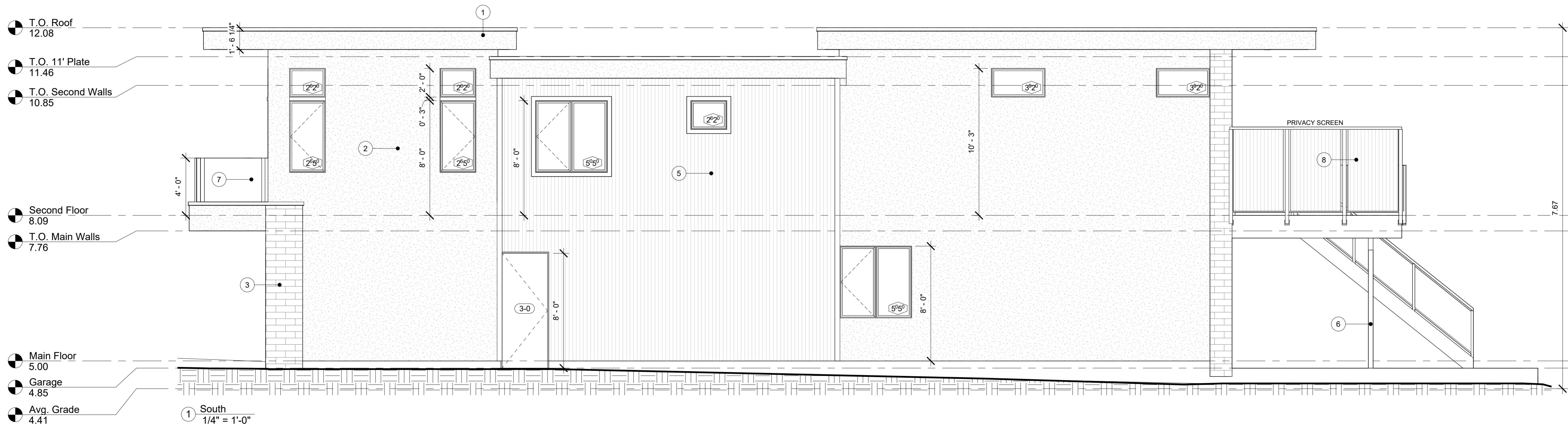


EXTERIOR FINISH NOTES

SOFFIT:	TYPICAL EAVE: U/S OF DECK:	T&G WOOD T&G WOOD
GUTTERS:	PARAPET WALL (ROOF DRAIN C/W 4" X 3" FORMED SHEET METAL DOWNPIPE)	
CORNER BOARDS:	1X4 PAINTED COMB FACE SPF	
WINDOW TRIM:	CORRUGATED METAL SIDING: TOP AND SIDES	2X4 PAINTED COMB FACE SPF TOP AND SIDES
DOOR TRIMS:	CORRUGATED METAL SIDING: TOP AND SIDES	2X4 PAINTED COMB FACE SPF TOP AND SIDES

ELEVATION NOTES LEGEND

1	2-PLY MOD. BIT ROOFING
2	ACRYLIC STUCCO
3	STONE VENEER
4	T&G V-GROOVE WOOD SIDING (VERTICAL)
5	CORRUGATED METAL PANEL
6	4"x4" HSS POST
7	TOPLESS GLASS ALUMINUM GUARD RAIL (3' 6" HEIGHT)
8	ALUMINUM GUARD RAIL C/W CORRUGATED METAL PANEL INSERTS (6' HEIGHT)



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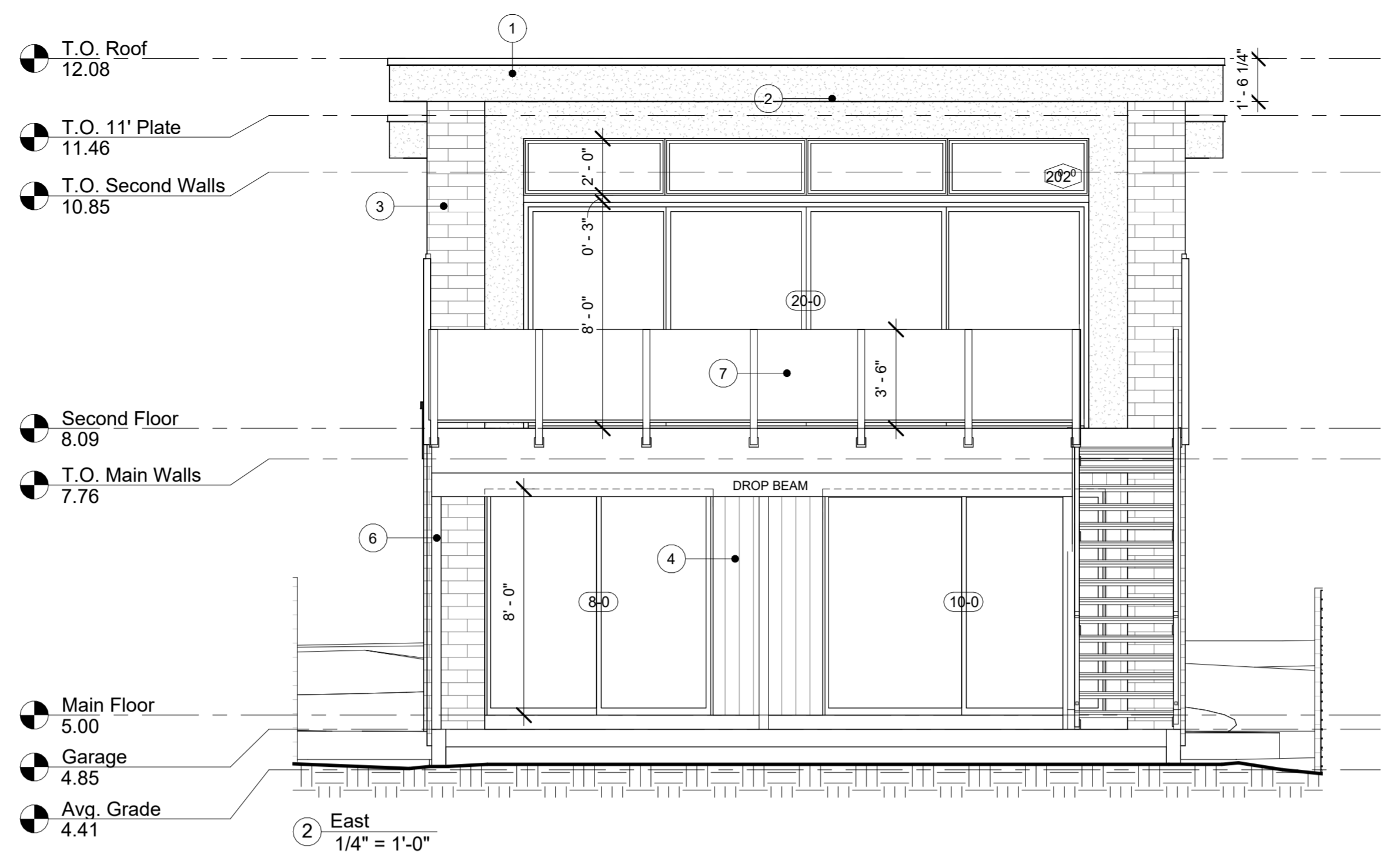
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Elevations

A2.1

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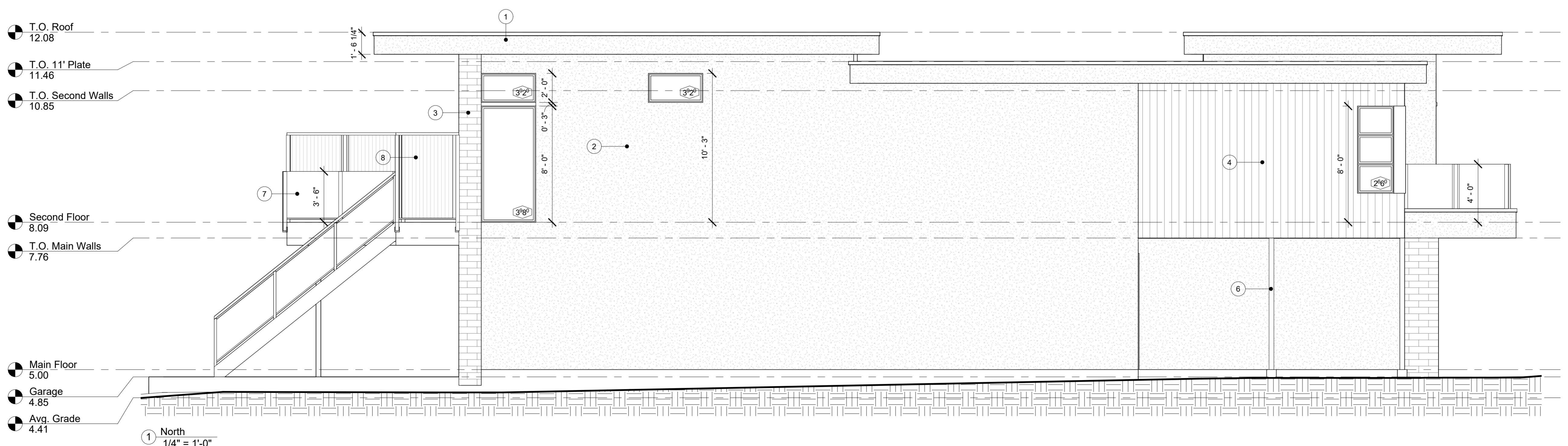
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ELEVATION NOTES LEGEND

- 2-PLY MOD. BIT ROOFING
- ACRYLIC STUCCO
- STONE VENEER
- T&G V-GROOVE WOOD SIDING (VERTICAL)
- CORRUGATED METAL PANEL
- 4"X4" HSS POST
- TOPLESS GLASS ALUMINUM GUARD RAIL (3' 6" HEIGHT)
- ALUMINUM GUARD RAIL C/W CORRUGATED METAL PANEL INSERTS (6' HEIGHT)

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Elevations

A2.2

ASSEMBLY DESCRIPTIONS (REFER TO STEP CODE 3 COMPLIANCE REPORT FOR FULL ASSEMBLY DETAILS)			
EXTERIOR WALLS	INTERIOR WALLS	FLOOR SYSTEMS	ROOF SYSTEMS
EW1 EXTERIOR WALL - T&G WOOD SIDING	IW1 INTERIOR WALL - 2X4 WALL	F1 FLOOR - TYPICAL JOIST FLOOR ASSEMBLY	R1 ROOF - PARACORD TRUSS - FLAT CEILING (LOW SLOPE)
1 EXTERIOR AIR FILM	1 FINISH TO OWNERS SPEC.	1 FLOOR FINISH TO OWNERS SPEC	1 2 PLY MOD. BIT. ROOFING
2 1X4 T&G V-GROOVE WOOD SIDING	2 1/2" GYPSUM WALL BOARD	2 5/8" T&G PLYWOOD SUBFLOOR	2 PROTECTION BOARD
3 1/2" AIR SPACE (FROM RAINSCREEN)	3 2X4 WALL STUDS @ 16" O/C (SPF #2 OR BETTER)	3 ENG. FLOOR JOISTS (BY OTHER)	3 5/8" T&G PLYWOOD ROOF SHEATHING (SLOPED TRUSS)
4 1/2" P.T. RAINSCREEN STRAPPING @ 8" O/C CW INSECT SCREEN T&B	4 1/2" GYPSUM WALL BOARD	4 5/8" GYPSUM CD BOARD	4 EXTERIOR AIR FILM
5 SYNTHETIC SHEATHING MEMBRANE (AM BARRIER)	5 FINISH TO OWNERS SPEC.	F2 FLOOR - GARAGE SLAB	5 ENG. ROOF TRUSSES (BY OTHER)
6 1/2" PLYWOOD SHEATHING	IW2 INTERIOR WALL - 2X6 WALL	1 SLOPED POWER TROWEL FINISH	6 BATT INSULATION
7 BATT INSULATION	1 FINISH TO OWNERS SPEC.	2 4" CONCRETE S.O.G.	7 6mil POLY AV/M BARRIER
8 2X6 WALL STUDS @ 16" O/C (SPF #2 OR BETTER)	2 1/2" GYPSUM WALL BOARD	3 6mil POLY AV/M BARRIER	8 5/8" GYPSUM CD BOARD
9 1/2" GYPSUM WALL BOARD	3 2X6 WALL STUDS @ 16" O/C (SPF #2 OR BETTER)	4 COMPACTED SUB-BASE	9 INTERIOR AIR FILM
10 VAPOUR BARRIER PAINT	4 1/2" GYPSUM WALL BOARD	F3 FLOOR - FLOOR OVER UNHEATED SPACES	
11 FINISH TO OWNERS SPECIFICATION	5 FINISH TO OWNERS SPEC.	1 INTERIOR AIR FILM	
12 INTERIOR AIR FILM	IW3 INTERIOR WALL - 2X6 WALL BETWEEN UNHEATED SPACES	2 5/8" T&G PLYWOOD SUBFLOOR	
EW2 EXTERIOR WALL - ACRYLIC STUCCO	1 EXTERIOR AIR FILM	3 BATT INSULATION	
1 EXTERIOR AIR FILM	2 1/2" GYPSUM WALL BOARD	4 ENG. FLOOR JOISTS (BY OTHER)	
2 3-COAT ACRYLIC STUCCO	3 2X6 WALL STUDS @ 16" O/C (SPF #2 OR BETTER)	5 5/8" GYPSUM CD BOARD	
3 STUCCO RITE	4 BATT INSULATION	6 EXTERIOR AIR FILM	
4 1/2" AIR SPACE (FROM RAINSCREEN)	5 6mil POLY AV/M BARRIER	F4 FLOOR - UNHEATED MAIN FLOOR SLAB ABOVE FROST LINE	
5 1/2" P.T. RAINSCREEN STRAPPING @ 8" O/C CW INSECT SCREEN T&B	6 1/2" GYPSUM WALL BOARD	1 COMPACTED SUB-BASE	
6 SYNTHETIC SHEATHING MEMBRANE (AM BARRIER)	7 INTERIOR AIR FILM	2 6mil POLY AV/M BARRIER	
7 1/2" PLYWOOD SHEATHING	EW3 EXTERIOR WALL - CORRUGATED METAL PANEL	3 XPS INSULATION	
8 BATT INSULATION	1 EXTERIOR AIR FILM	4 4" CONCRETE S.O.G.	
9 2X6 WALL STUDS @ 16" O/C (SPF #2 OR BETTER)	2 CORRUGATED METAL PANEL	5 SMOOTH HAND TROWEL FINISH	
10 1/2" GYPSUM WALL BOARD	3 1/2" AIR SPACE (FROM RAINSCREEN)	6 3/4" WOOD FLOORING TO OWNERS SPEC.	
11 VAPOUR BARRIER PAINT	4 1/2" P.T. RAINSCREEN STRAPPING @ 8" O/C CW INSECT SCREEN T&B	7 INTERIOR AIR FILM	
12 FINISH TO OWNERS SPECIFICATION	5 SYNTHETIC SHEATHING MEMBRANE (AM BARRIER)	F5 FLOOR - CONCRETE PAVER DECK	
13 INTERIOR AIR FILM	6 1/2" PLYWOOD SHEATHING	1 PAVERS ON PEDESTALS	
EW4 EXTERIOR WALL - STONE VENEER	7 BATT INSULATION	2 2-PLY SBS MEMBRANE	
1 EXTERIOR AIR FILM	8 2X6 WALL STUDS @ 16" O/C (SPF #2 OR BETTER)	3 PROTECTION BOARD	
2 2" STONE VENEER	9 1/2" GYPSUM WALL BOARD	4 5/8" T&G PLYWOOD SUBFLOOR	
3 SCRATCH & BROWN COAT (PORTLAND CEMENT)	10 VAPOUR BARRIER PAINT	5 2X SLOPED TAPERS	
4 STUCCO RITE	11 FINISH TO OWNERS SPECIFICATION	6 EXTERIOR AIR FILM	
5 1/2" AIR SPACE (FROM RAINSCREEN)	12 INTERIOR AIR FILM	7 ENG. FLOOR JOISTS (BY OTHER)	
6 1/2" P.T. RAINSCREEN STRAPPING @ 8" O/C CW INSECT SCREEN T&B	EW4 EXTERIOR WALL - STONE VENEER	8 SPF INSUL. (AV BARRIER)	
7 SYNTHETIC SHEATHING MEMBRANE (AM BARRIER)	1 EXTERIOR AIR FILM	9 5/8" GYPSUM CD BOARD	
8 1/2" PLYWOOD SHEATHING	2 2" STONE VENEER	10 INTERIOR AIR FILM	
9 BATT INSULATION	3 SCRATCH & BROWN COAT (PORTLAND CEMENT)	F6 FLOOR - CONCRETE PAVER ROOF DECK	
10 2X6 WALL STUDS @ 16" O/C (SPF #2 OR BETTER)	4 STUCCO RITE	1 PAVERS ON PEDESTALS	
11 1/2" GYPSUM WALL BOARD	5 1/2" AIR SPACE (FROM RAINSCREEN)	2 2-PLY SBS MEMBRANE	
12 VAPOUR BARRIER PAINT	6 1/2" P.T. RAINSCREEN STRAPPING @ 8" O/C CW INSECT SCREEN T&B	3 PROTECTION BOARD	
13 FINISH TO OWNERS SPECIFICATION	7 SYNTHETIC SHEATHING MEMBRANE (AM BARRIER)	4 5/8" T&G PLYWOOD SUBFLOOR	
14 INTERIOR AIR FILM	8 1/2" PLYWOOD SHEATHING	5 2X SLOPED TAPERS	
	9 BATT INSULATION	6 EXTERIOR AIR FILM	
	10 2X6 WALL STUDS @ 16" O/C (SPF #2 OR BETTER)	7 ENG. FLOOR JOISTS (BY OTHER)	
	11 1/2" GYPSUM WALL BOARD	8 SPF INSUL. (AV BARRIER)	
	12 VAPOUR BARRIER PAINT	9 5/8" GYPSUM CD BOARD	
	13 FINISH TO OWNERS SPECIFICATION	10 INTERIOR AIR FILM	
	14 INTERIOR AIR FILM	F7 FLOOR - CANTILEVERED FLOOR	
		1 INTERIOR AIR FILM	
		2 5/8" T&G PLYWOOD SUBFLOOR	
		3 MINERAL WOOL INSULATION	
		4 ENG. FLOOR JOISTS (BY OTHER)	
		5 SOFFIT TO OWNERS SPECIFICATION	
		6 EXTERIOR AIR FILM	

BCBC 9.32 COMPLIANCE

HEATING SYSTEM
HEAT PUMP & AIR HANDLER

VENTILATION REQUIREMENTS
IN ACCORDANCE WITH 9.32.3.6

KITCHEN AND BATHROOM FANS
KITCHEN: INTERMITTENT 47L/S
BATHROOM: CONTINUOUS 23L/S

PRINCIPAL VENTILATION SYSTEM SUPPLY AIR (9.32.3.4)
DUCTED FORCED AIR SYSTEM
PROVIDE SUPPLY AIR TO EACH BEDROOM AND EACH FLOOR LEVEL WITHOUT A BEDROOM

PRINCIPAL VENTILATION SYSTEM EXHAUST FAN (9.32.3.5)
TOTAL FLOOR AREA: 264.8m²
NUMBER OF BEDROOMS: 4
PRINCIPAL EXHAUST FAN MINIMUM AIR-FLOW RATE PER 9.32.3.4: 35.0L/S
PRINCIPAL VENTILATION SYSTEM EXHAUST FAN: MAIN FLOOR BATHROOM FAN

- FRAMING NOTES:**
- ALL FRAMING TO BE IN ACCORDANCE WITH THE 2018 BC BUILDING CODE
 - ALL LUMBER TO BE SPF#2 OR BETTER UNLESS NOTED OTHERWISE
 - ALL EXTERIOR WALL AND ROOF SHEATHING TO BE 1/2" STANDARD FIR PLYWOOD UNLESS NOTED OTHERWISE
 - ALL EXPOSED EXTERIOR POSTS TO BE 6X6 MIN.
 - ALL LINTELS TO BE 2-PLY 2X10 U.L.C.
 - ALL CONCRETE TO BE MINIMUM 25MPa AT 28 DAYS
 - ALL INTERIOR DOORS TO PROVIDE MIN. 2-STUDS E/S AT JAMB FRAMING
 - TYPICAL DOOR / WINDOW HEAD HEIGHT: MAIN FLOOR: 8' SECOND FLOOR: 8' (VARIES)
 - ALL EXPOSED EXTERIOR FRAMING TO BE PRESERVATIVE TREATED LUMBER: FIELD TREAT ALL CUTS
 - DESIGN LOADS: SIDNEY: Ss: 1.6kPa Sr: 0.2kPa

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PLAN LEGEND

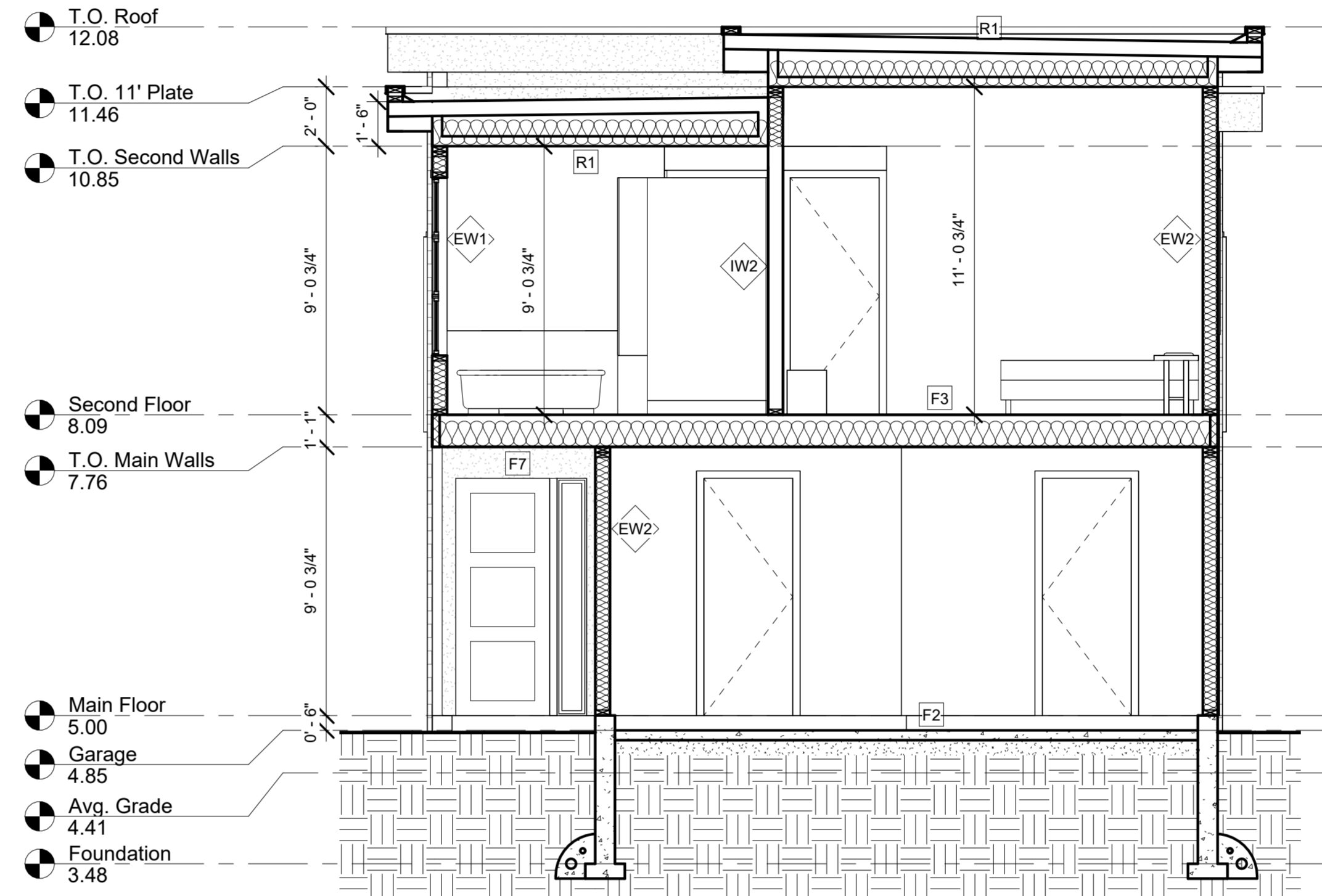
- WALL
- ROOF OVER
- FLOOR OVER
- DECK OVER
- WALL BELOW
- POST
- FLUSH BEAM OVER
- DROP BEAM OVER
- GRIDDER TRUSS OVER
- SIC DETECTOR
- DOOR SIZE
- WINDOW SIZE
- JOIST SPAN DIRECTION
- LINE OF INTERIOR VAULT

NAFS SPECIFICATIONS

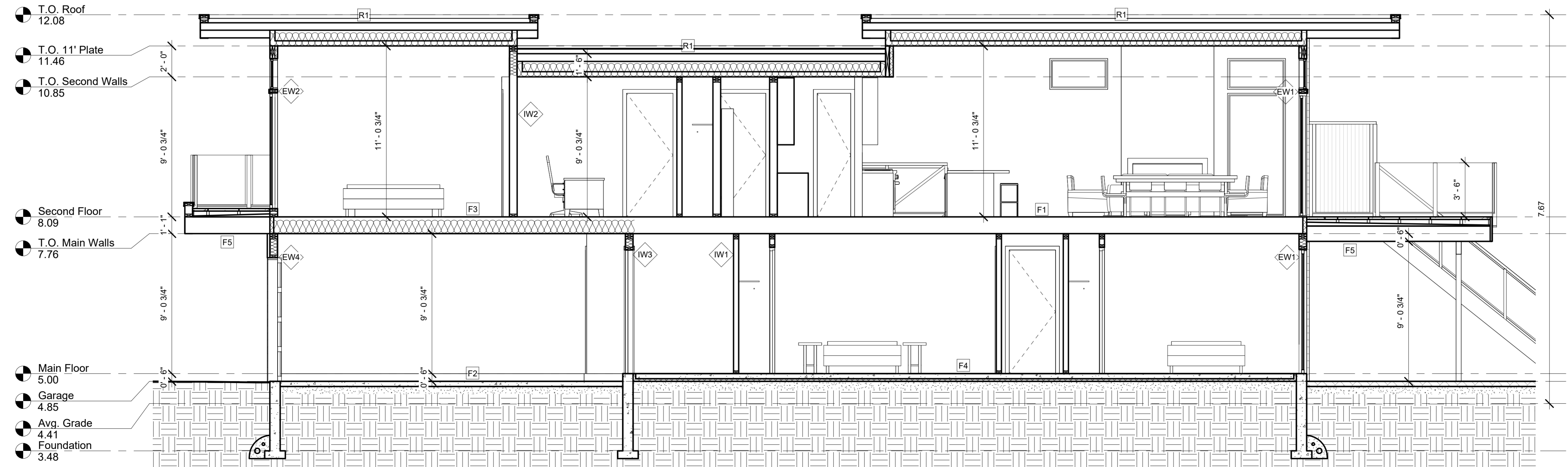
PERFORMANCE GRADE:	40
STRUCTURAL:	1920 Pa
WATER:	360 Pa
AIR:	A2

BCBC 9.36

MAXIMUM U-VALUE FOR FENESTRATION:	1.61 W/(m ² ·K)
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Section A
1/4" = 1'-0"



Section B
1/4" = 1'-0"

DRAWING SCALE: 1/4" = 1'-0" ALL MEASUREMENTS ARE IN FEET



FLOOR AREA

MAIN FLOOR:	1196 SF
SECOND FLOOR:	1655 SF
TOTAL LIVING SPACE:	2851 SF
GARAGE:	469 SF
TOTAL BUILDING SF:	3320 SF

PROJECT

10255 Resthaven Dr. Lot 1 2304

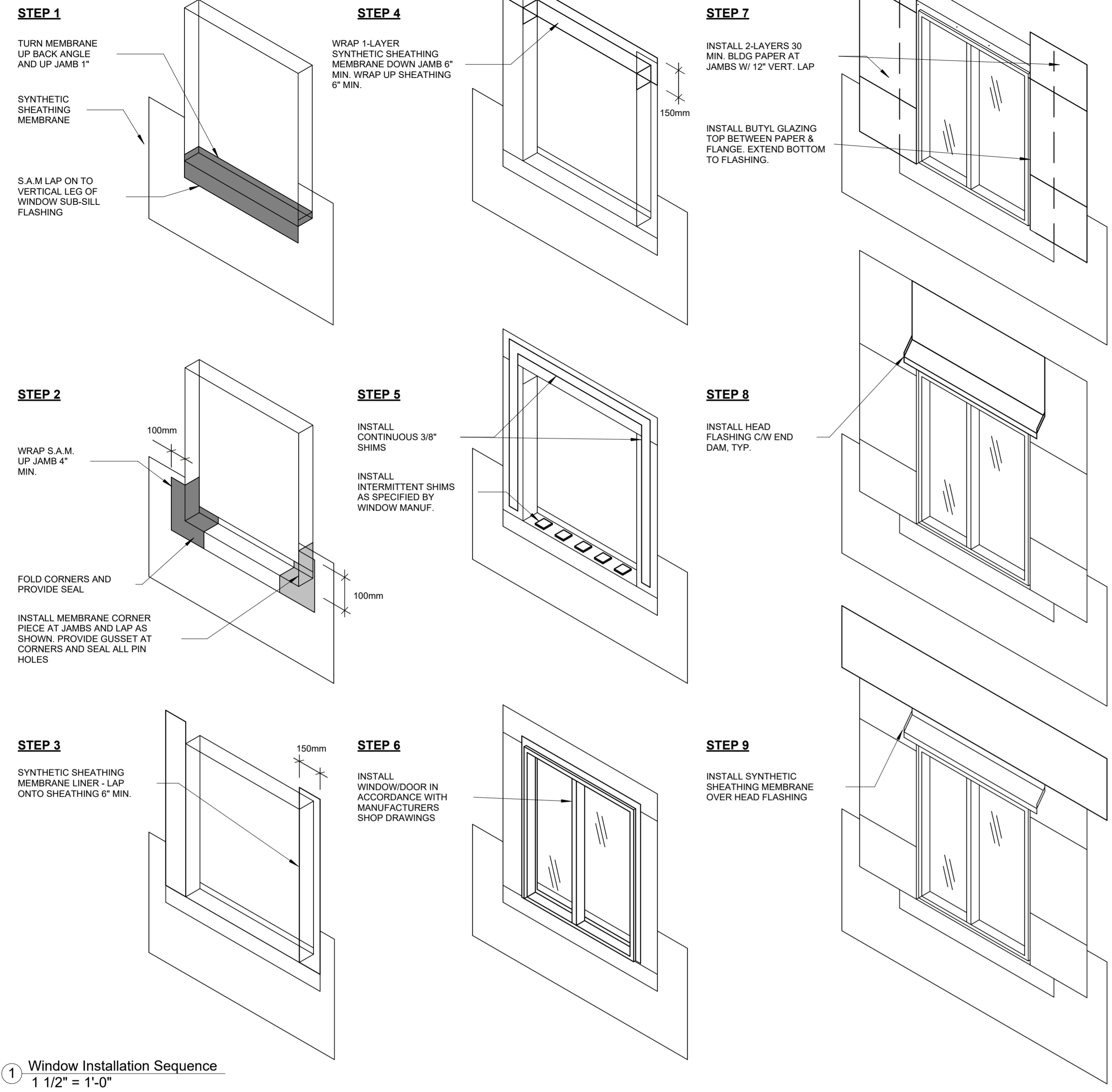
ISSUE DATE: 24Sept24 REV 7

Date:	Description:	No.:
23Aug14	Site Plan	1
23May31	Concept 2	2
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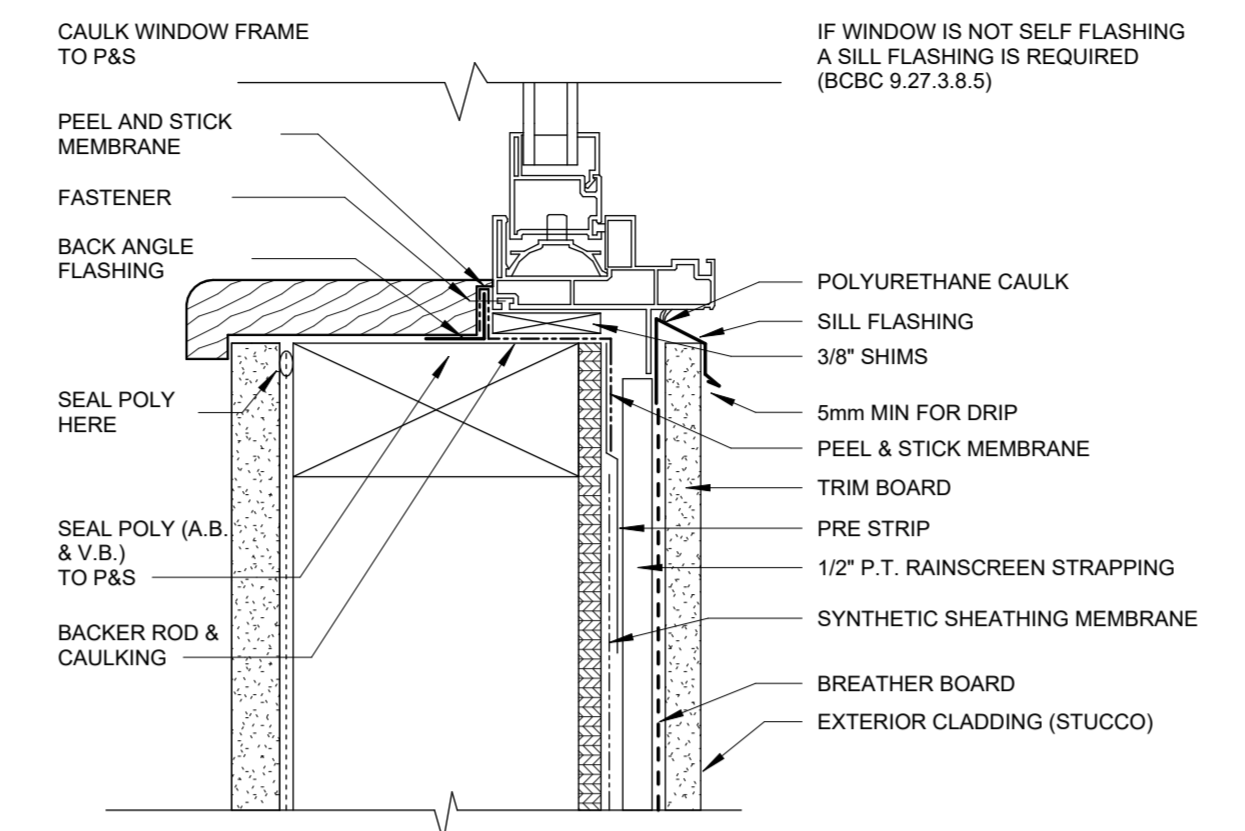
Sections & Assemblies

A3.1

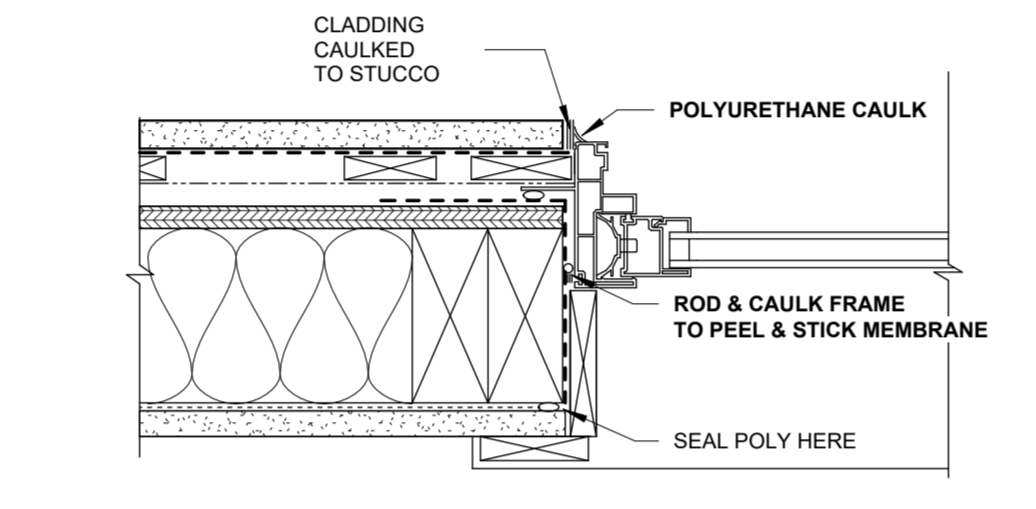
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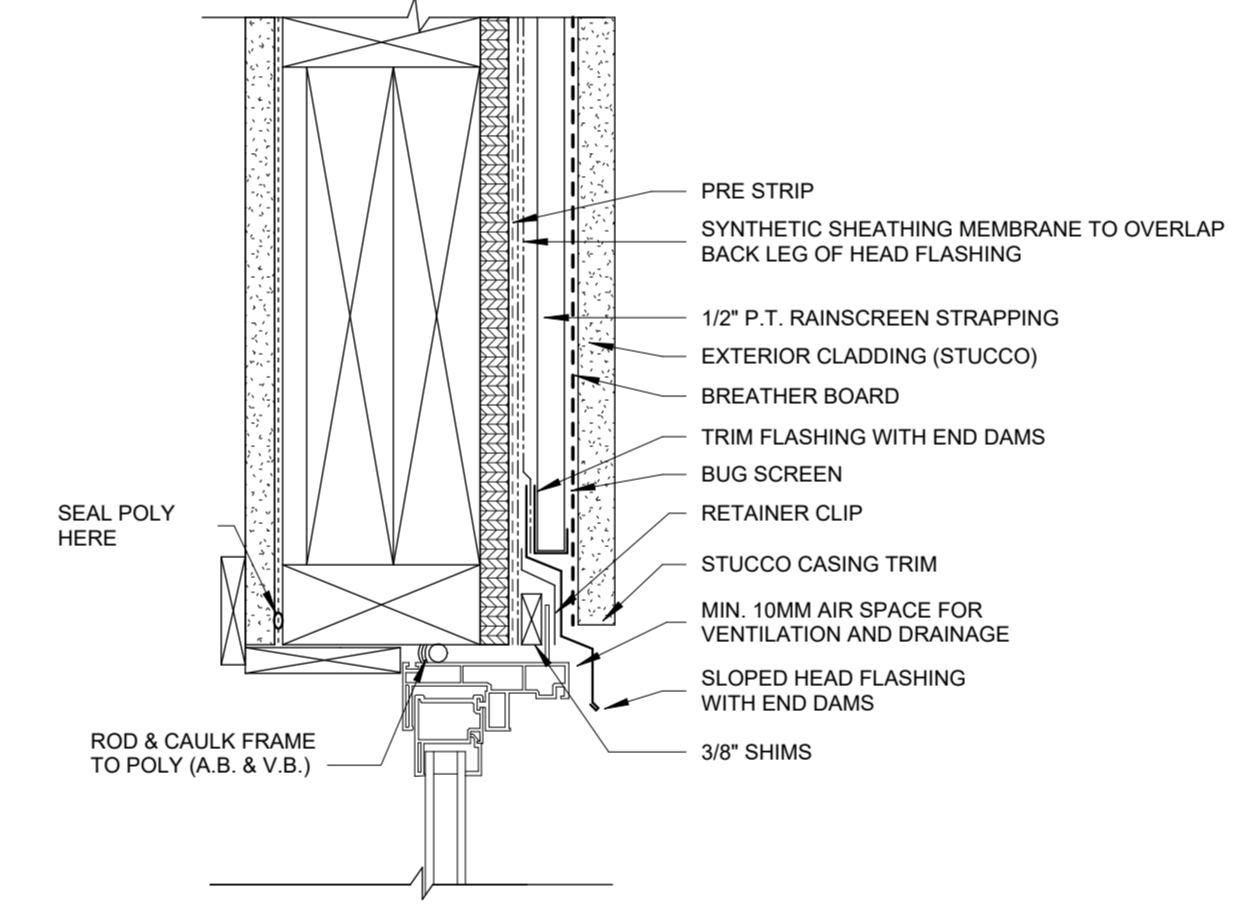
1 Window Installation Sequence
1 1/2" = 1'-0"



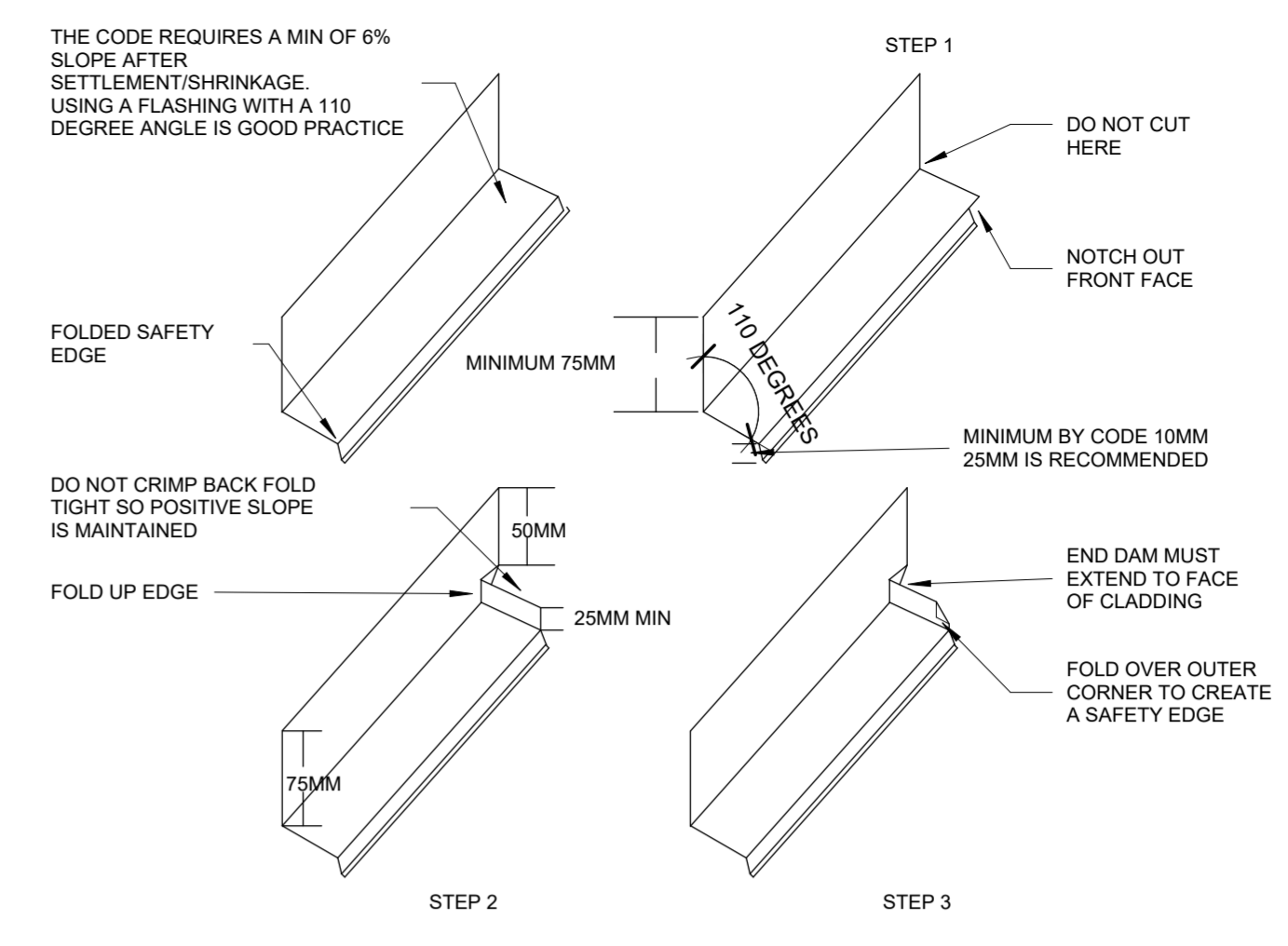
2 Window Sill Detail - Stucco - No Trim
2" = 1'-0"



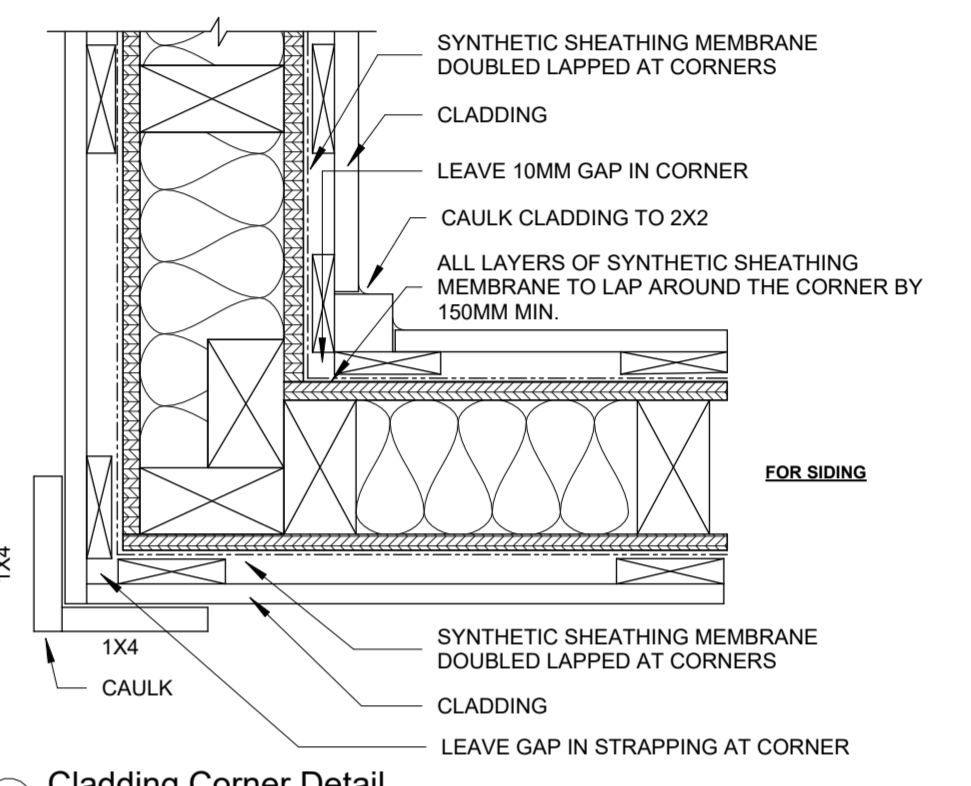
3 Window Jamb Detail - Stucco - No Trim
2" = 1'-0"



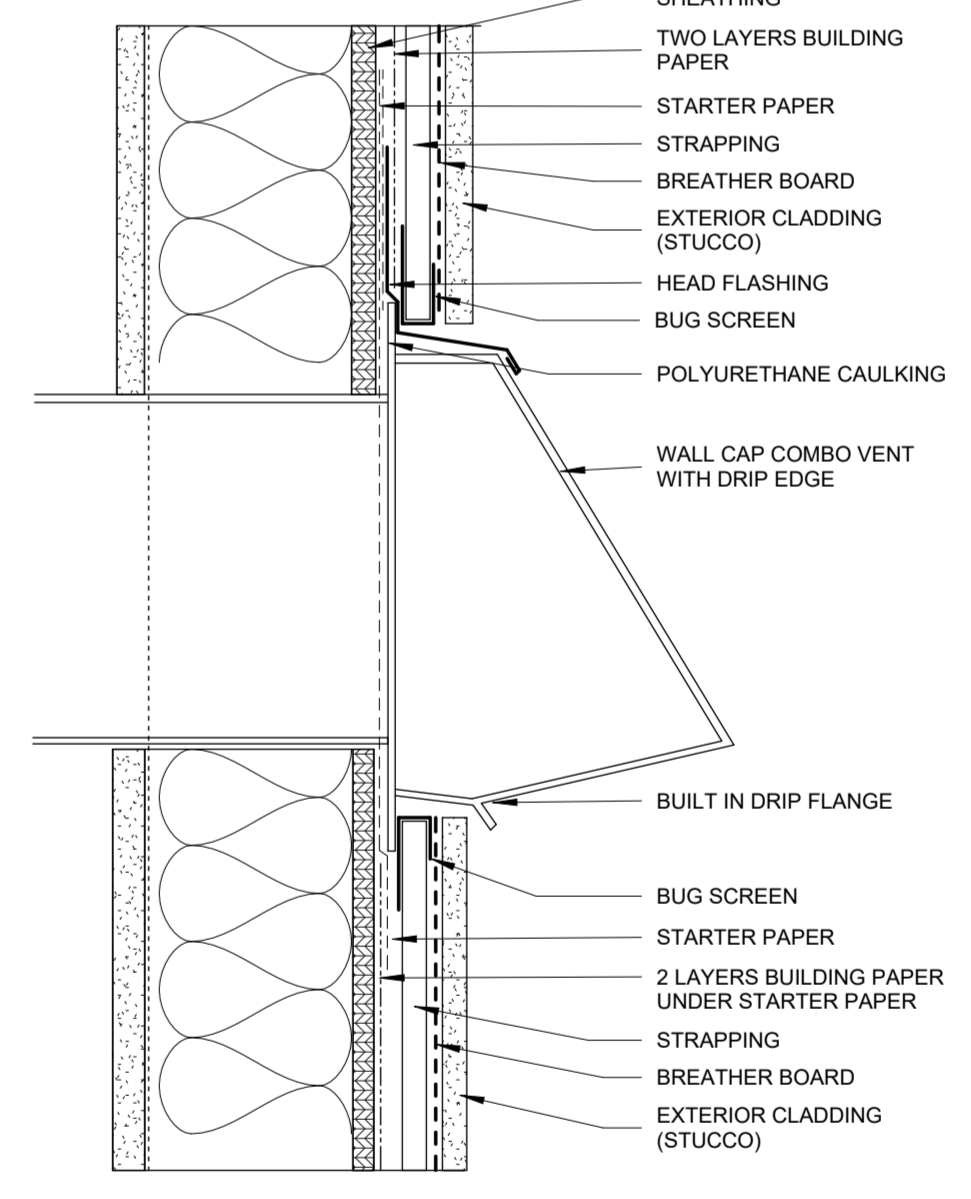
4 Window Head Detail - Stucco - No Trim
2" = 1'-0"



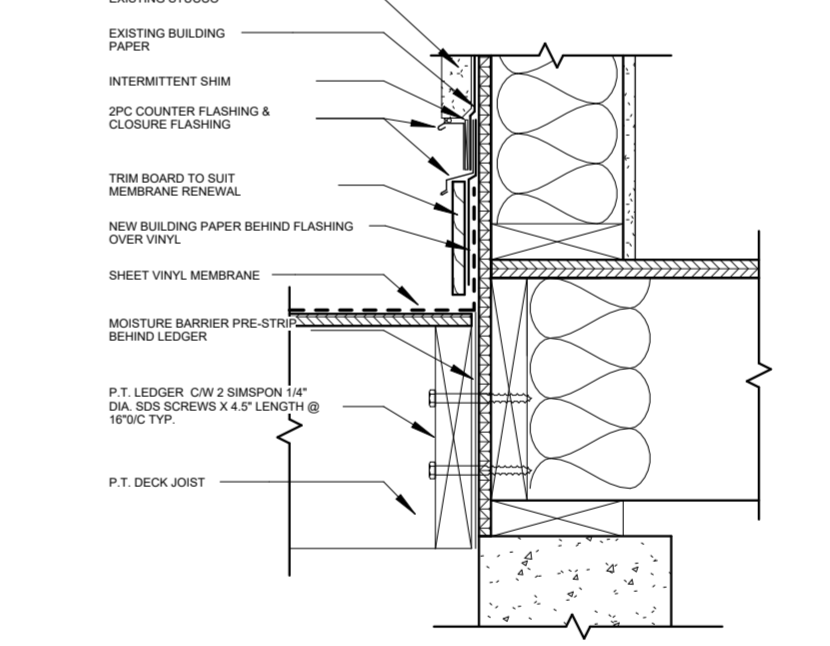
3 Typical Flashing With End Dam
1 1/2" = 1'-0"



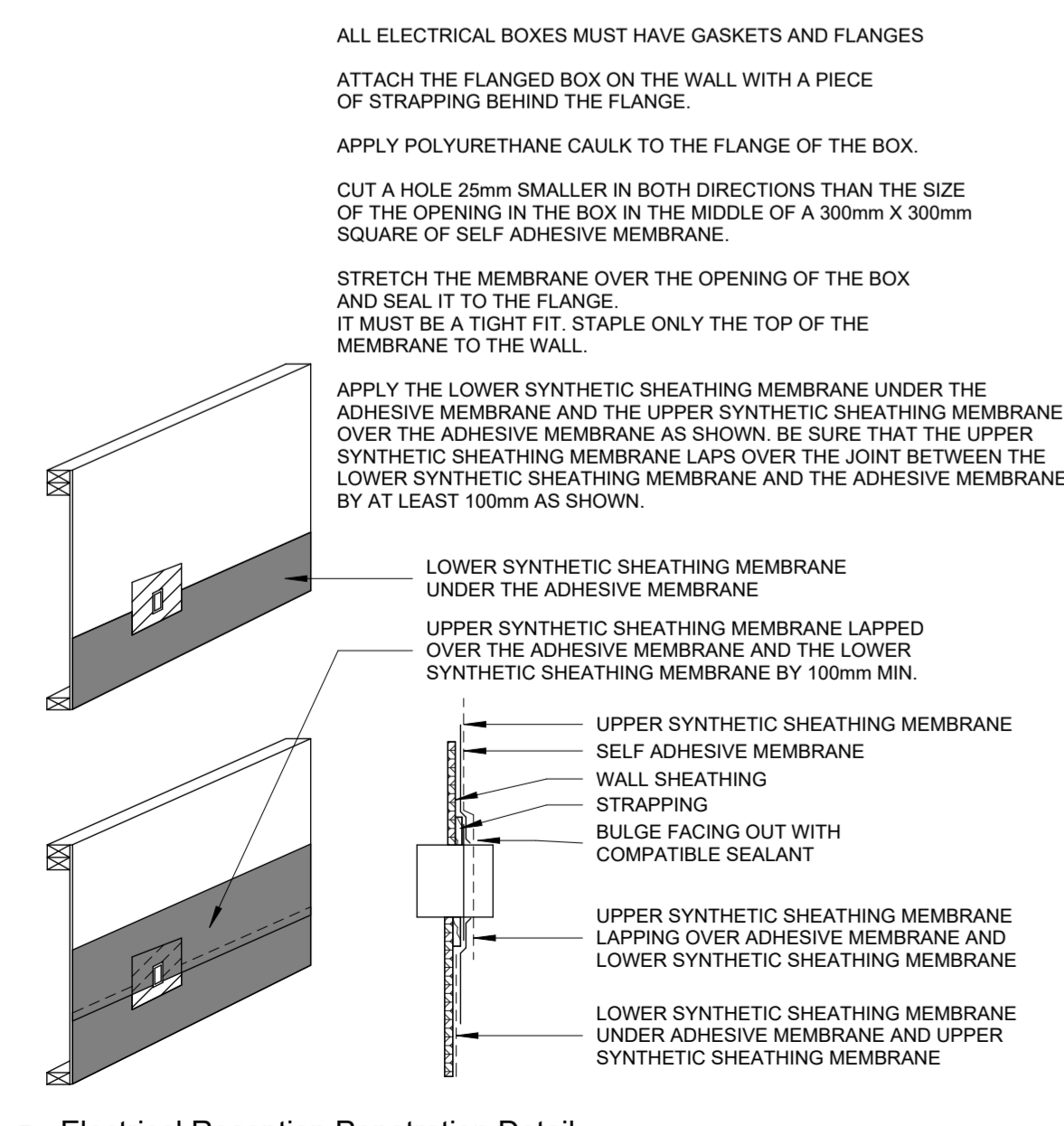
6 Cladding Corner Detail
2" = 1'-0"



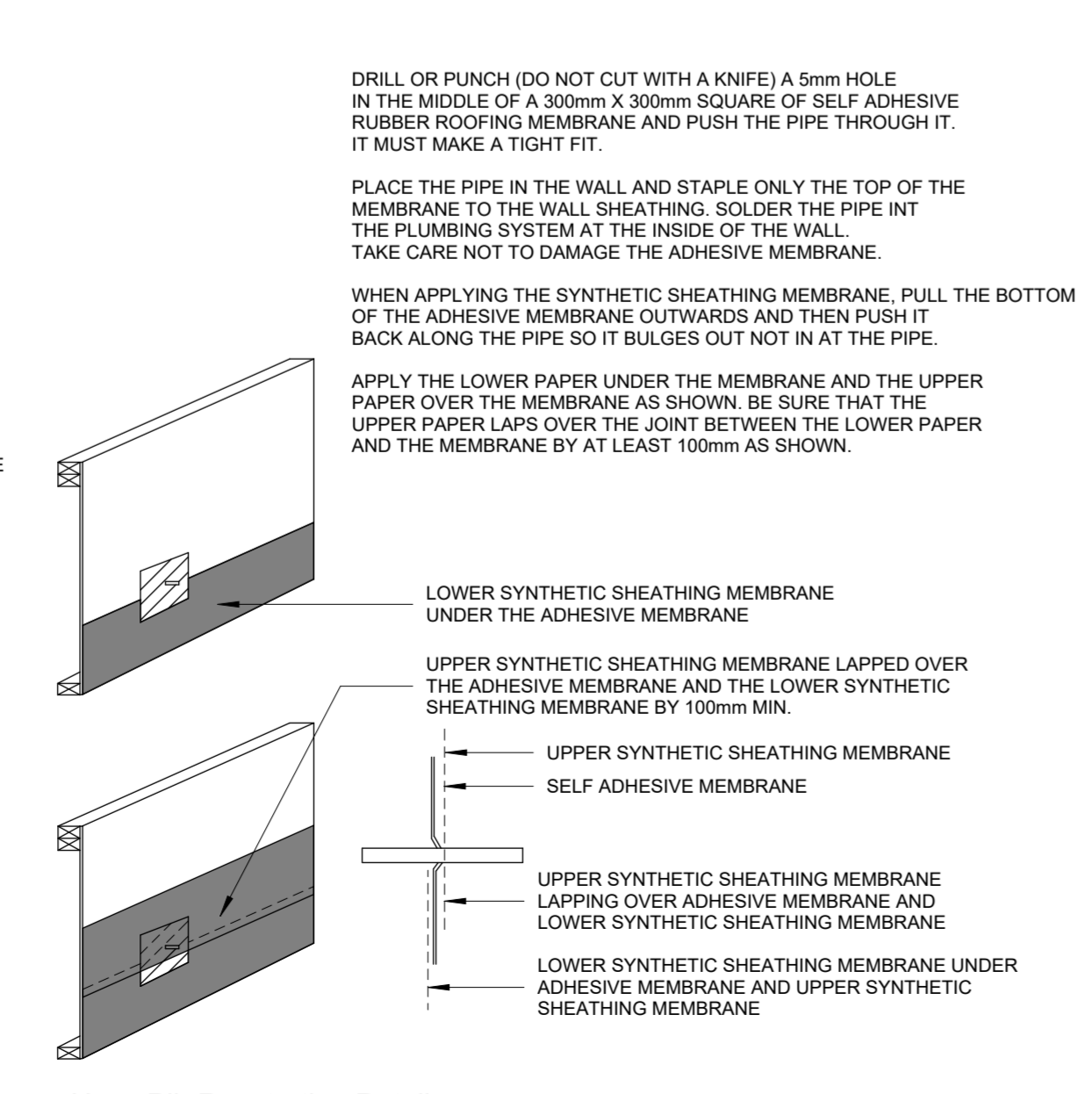
8 Vent Penetration Detail - Stucco
2" = 1'-0"



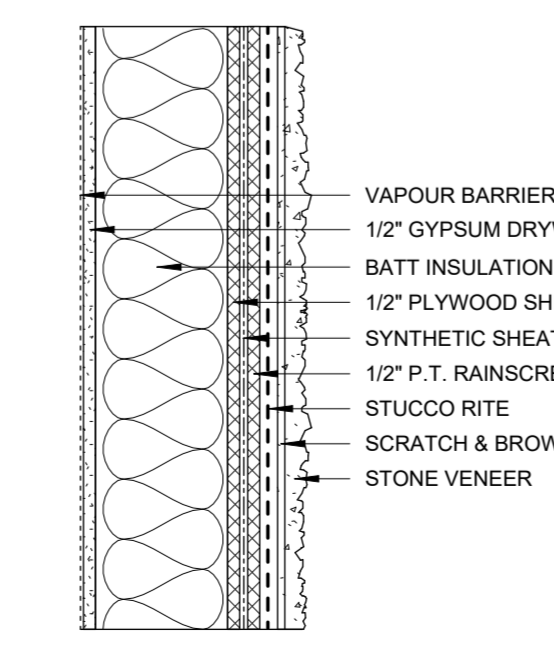
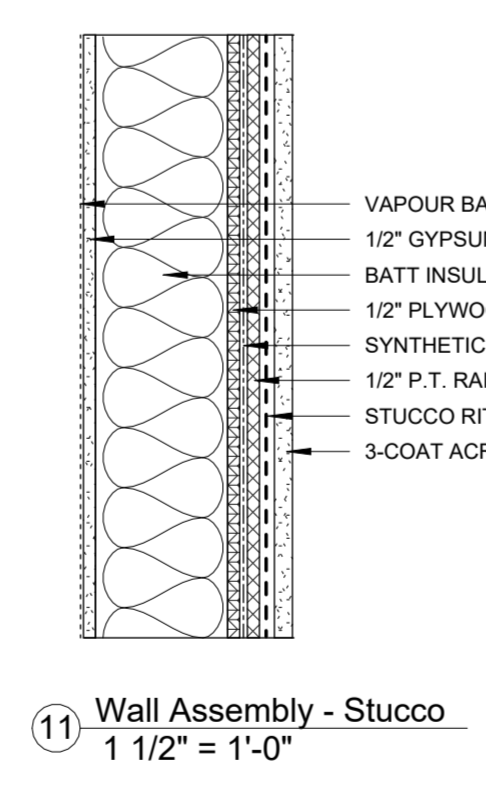
7 Deck to Wall Connection - Stucco
1 1/2" = 1'-0"



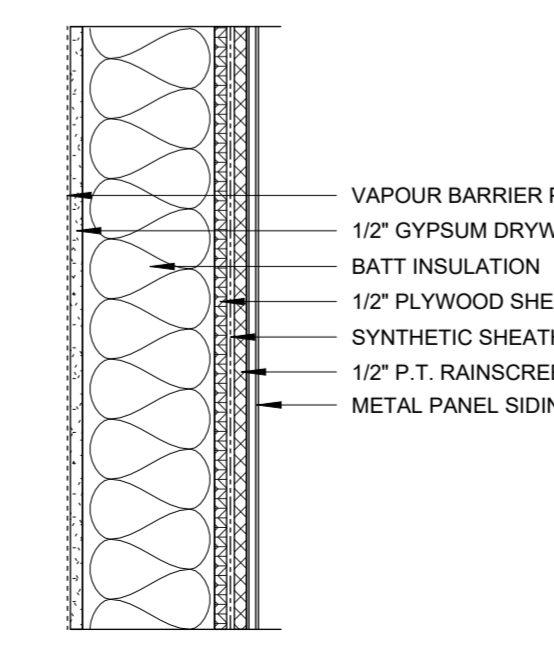
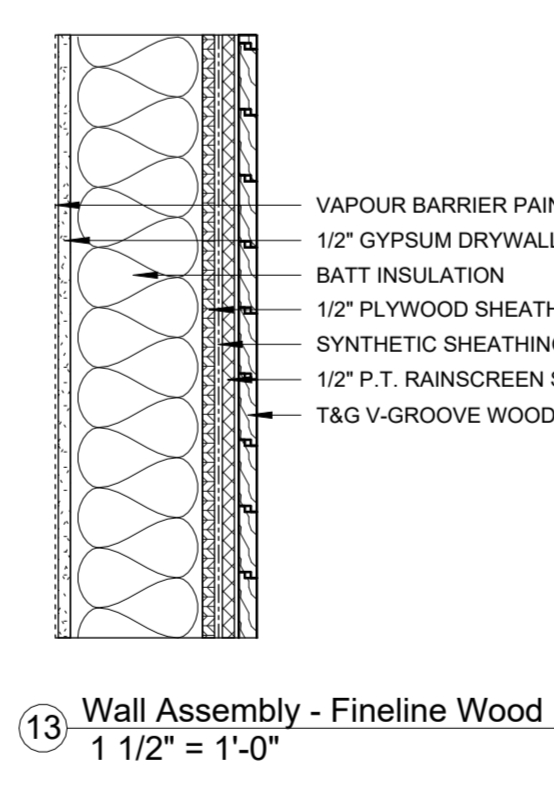
9 Electrical Reception Penetration Detail
1 1/2" = 1'-0"



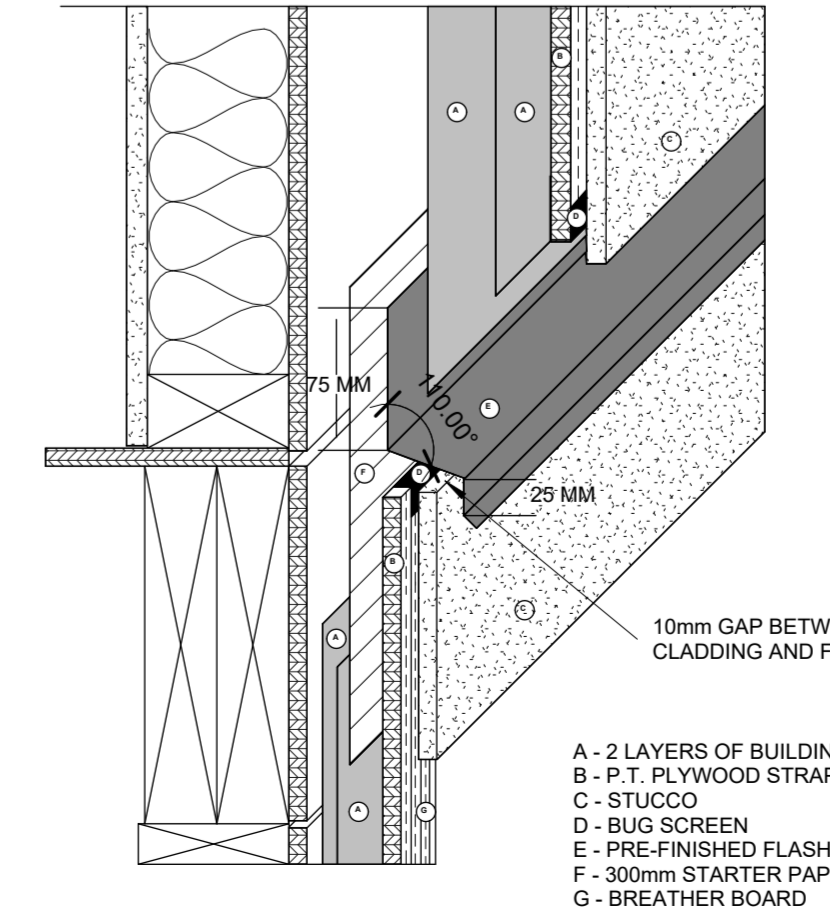
10 Hose Bib Penetration Detail
1 1/2" = 1'-0"



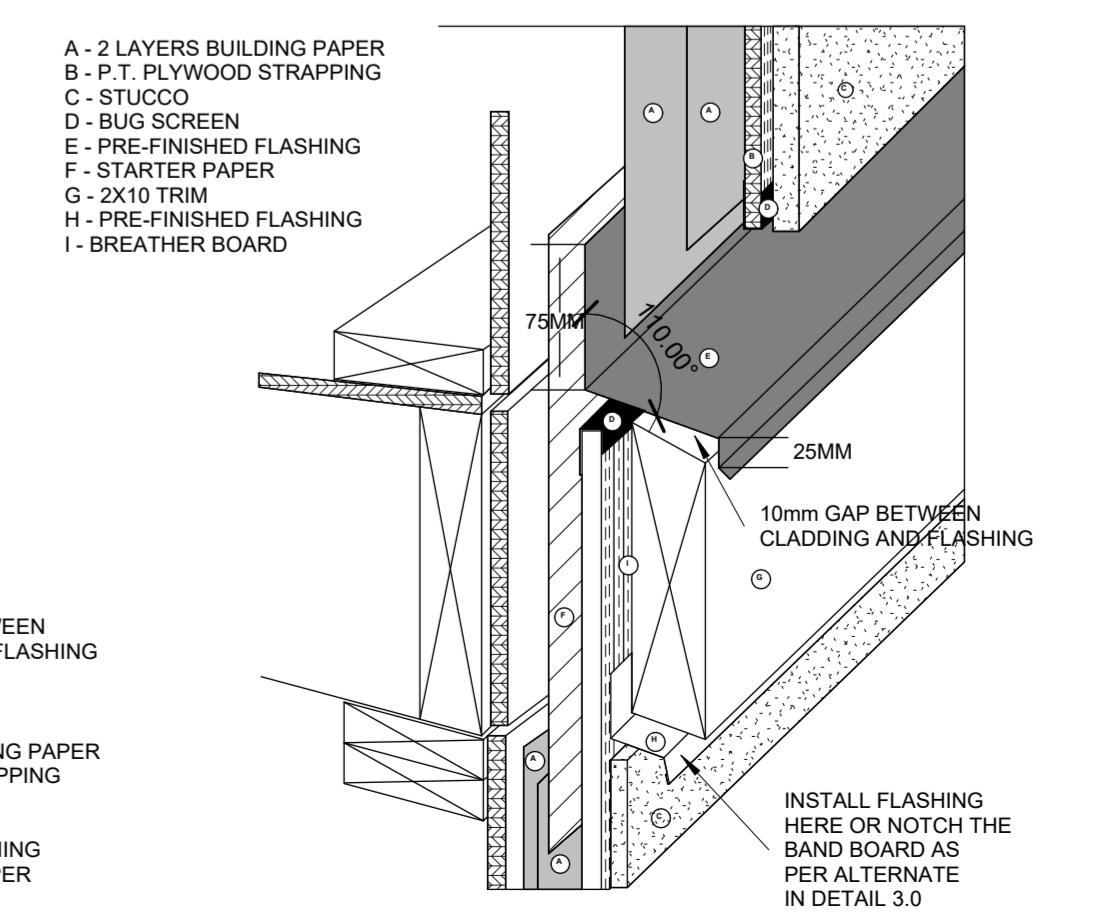
12 Wall Assembly - Stone Veneer
1 1/2" = 1'-0"



14 Wall Assembly - Metal Siding
1 1/2" = 1'-0"



15 Thru Cavity Flashing Detail - Stucco
1 1/2" = 1'-0"



16 Belly Band Trim Detail - Stucco
1 1/2" = 1'-0"

PROJECT

10255 Resthaven
Dr. Lot 1
2304

ISSUE DATE: 24Sept24 REV 7

No.:	Description:	Date:
1	Site Plan	23Aug14
2	Concept 2	23May31
3	Concept 3	23July26
4	90% Client Review	23Nov16
5	Issue for Engineering	23Dec13
6	Issue for DVP	24Sept16
7	Issue for DVP Rev.1	24Sept24

Details

A4.1

NEW CUSTOM HOME: 10255 Resthaven Dr.

SIDNEY, BC

KEY PLAN:



R2 - ESA ZONING ANALYSIS:

LOT AREA:	979.5m ²		
FLOOR ELEVATIONS:	MAIN FLOOR:	5.00m	
	SECOND FLOOR:	8.09m	
	GARAGE SLAB:	4.85m	
AVERAGE GRADE:	4.42m		
F.S.R.:	ALLOWABLE	PROPOSED	
	NO RESTRICTION	N/A	
GROSS FLOOR AREA:	ALLOWABLE	PROPOSED	
	GARAGE:	EXEMPT	43.6m ² (EXEMPT)
	MAIN FLOOR:		111.1m ²
	SECOND FLOOR:		153.7m ²
TOTAL:	NO RESTRICTION	264.8m ²	
LOT COVERAGE:	ALLOWABLE	PROPOSED	
HOUSE:	30.0%	18.6% (202.2m ²)	
HEIGHT:	ALLOWABLE	PROPOSED	
HOUSE:	10.50m	7.66m	
SETBACKS:	ALLOWABLE	PROPOSED	
	FRONT (W):	4.50m	36.49m
	REAR (E):	5.50m	19.55m
	SIDE (S):	2.00m	1.53m (VARIANCE REQUIRED)
	SIDE (N):	2.00m	1.52m (VARIANCE REQUIRED)
BUILDING ENVELOPE:	ALLOWABLE	PROPOSED	
	WIDTH:	MINIMUM 9.00m	7.13m (VARIANCE REQUIRED)
	LENGTH:	MINIMUM 9.00m	65.17

PROJECT INFORMATION:

SITE ADDRESS: 10255 RESTHAVEN DRIVE
SIDNEY, BC
V8L 3H2

LOT 4, PLAN VIP18086, SECTION 14, RANGE 4E, NORTH SAANICH LAND DISTRICT

SCOPE OF WORK:

CONSTRUCTION OF A NEW SINGLE FAMILY DWELLING

PROJECT DIRECTORY:

DESIGNER: HOYT DESIGN CO.
250.999.9893
HELLO@HOYT.CO

GENERAL CONTRACTOR: TBD

STRUCTURAL ENGINEER: TBD

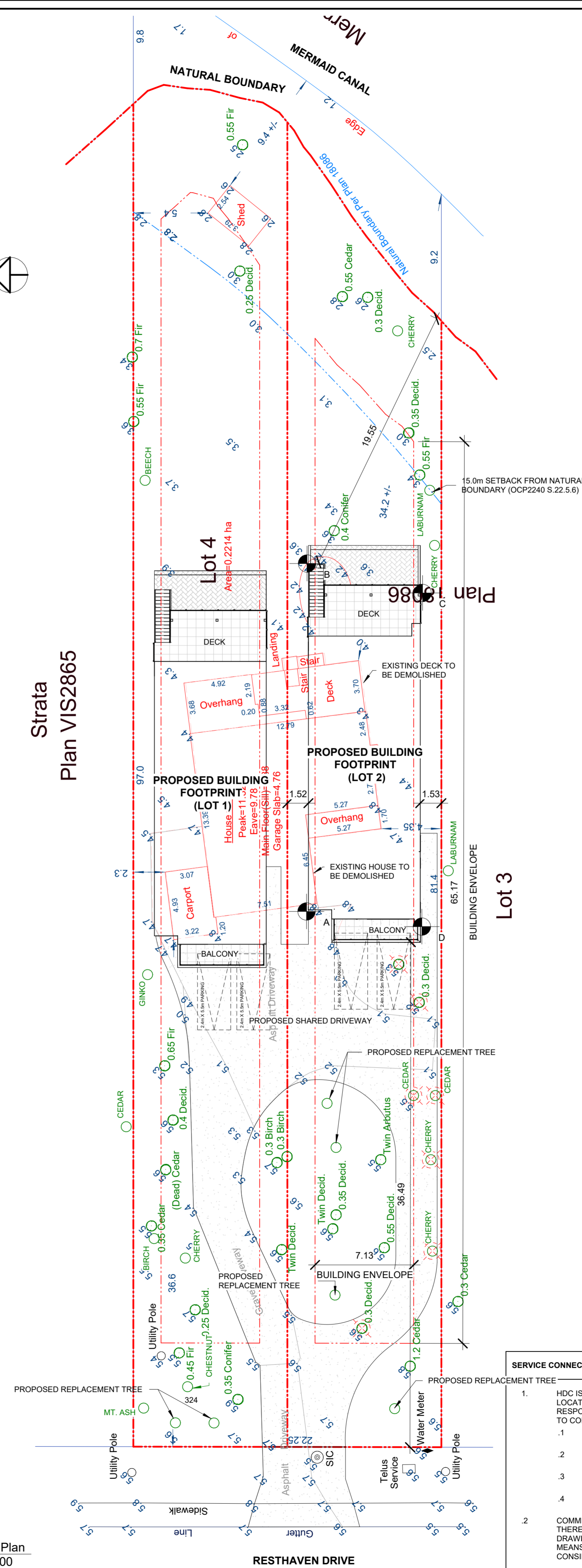
SURVEYOR: WEY MAYENBURG LAND SURVEYING INC.
250.656.5155
BRENT@WEYSURVEYS.COM

SHEET INDEX:

A0.0	SITE PLAN & ZONING ANALYSIS
A1.1	FOUNDATION & MAIN FLOOR PLAN
A1.2	SECOND FLOOR & ROOF PLAN
A2.1	ELEVATIONS
A2.2	ELEVATIONS
A3.1	SECTIONS & ASSEMBLIES
A4.1	DETAILS

AVERAGE GRADE CALC.	
POINT	ELEVATION (HOUSE)
A	4.80m
B	4.20m
C	3.78m
D	4.90m
TOTAL	17.68 / 4 = 4.42m

1 Site Plan
1 : 200



SERVICE CONNECTIONS:	
1.	HDC IS NOT RESPONSIBLE FOR THE DESIGN AND/OR LOCATION OF SERVICE CONNECTIONS. IT IS THE RESPONSIBILITY OF THE OWNER / CONTRACTOR, PRIOR TO CONSTRUCTION TO:
1.	PHYSICALLY LOCATE ALL STORM & SEWER CONNECTIONS FOR THE SITE
2.	CONFIRM INVERT / CONNECTION ELEVATIONS FOR THE STORM AND SEWER SYSTEMS
3.	ENSURE THAT BUILDING ELEVATIONS (ALL FLOORS, CRAWLSPACE AND/OR DESIGN OF PUMPED DRAINAGE SYSTEMS (WHERE NECESSARY)) TO BE BY OTHER
2.	COMMENCEMENT OF CONSTRUCTION OR ANY PART THEREOF CONSTITUTES ACCEPTANCE OF THE DRAWINGS, ACCEPTANCE OF THE SITE CONDITIONS, AND MEANS DIMENSIONS AND ELEVATIONS HAVE BEEN CONSIDERED, VERIFIED, AND ARE ACCEPTABLE

GENERAL NOTES:

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PROJECT

10255 Resthaven Dr. Lot 2

2304

ISSUE DATE: 24Sept24 REV 7

Date:	Description:	No.:
23Apr28	Concept 1	1
23May31	Concept 2	2
23July26	Concept 3	3
23Nov16	90% Client Review	4
23Dec13	Issue for Engineering	5
24Sept16	Issue for DVP	6
24Sept24	Issue for DVP Rev.1	7

Site Plan & Zoning Analysis

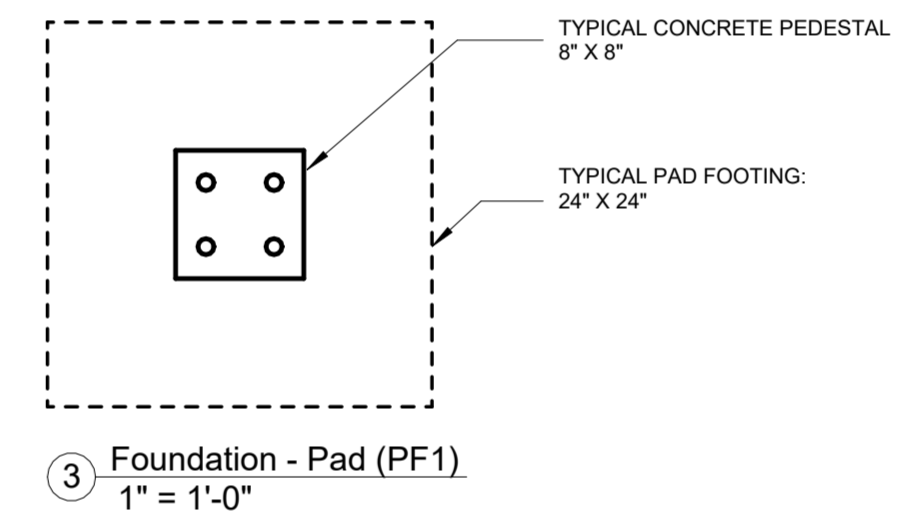
A0.0

- FRAMING NOTES:**
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 - ALL EXTERIOR WALL AND ROOF SHEATHING TO BE 1/2" STANDARD FIR PLYWOOD UNLESS NOTED OTHERWISE
 - ALL EXPOSED EXTERIOR POSTS TO BE 6X8 MIN.
 - ALL LINTELS TO BE 2xPLY 2X10 N.O.
 - ALL CONCRETE TO BE MINIMUM 25MPa AT 28 DAYS
 - ALL INTERIOR DOORS TO PROVIDE MIN. 2-STUDS E/S AT JAMB FRAMING
 - TYPICAL DOOR / WINDOW HEAD HEIGHT:
BASEMENT: 8'
MAIN FLOOR: 8'
SECOND FLOOR: 8'
 - ALL EXPOSED EXTERIOR FRAMING TO BE PRESERVATIVE TREATED LUMBER; FIELD TREAT ALL CUTS
 - DESIGN LOADS:
[SAANICH]: S_s: 2.1kPa
S_r: 0.3kPa

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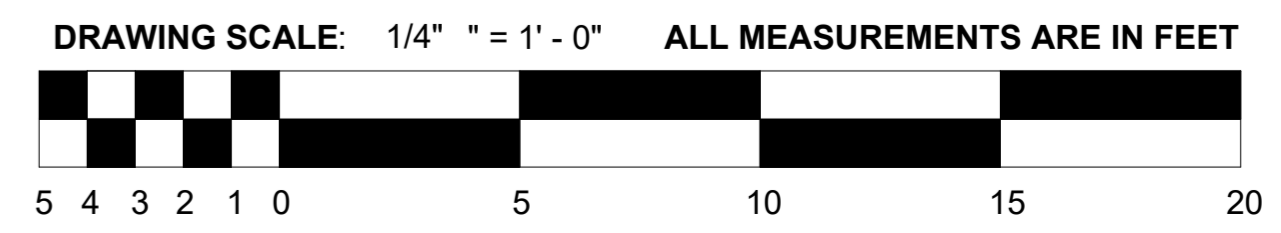
PLAN LEGEND

WALL	
ROOF OVER	
FLOOR OVER	
DECK OVER	
WALL BELOW	
POST	
FLUSH BEAM OVER	
DROP BEAM OVER	
GIRDER TRUSS OVER	
S/C DETECTOR	
DOOR SIZE	
WINDOW SIZE	
JOIST SPAN DIRECTION	
LINE OF INTERIOR VAULT	



FLOOR AREA

MAIN FLOOR:	1196 SF
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TOTAL LIVING SPACE:	2851 SF
GARAGE:	469 SF
TOTAL BUILDING SF:	3320 SF



PROJECT

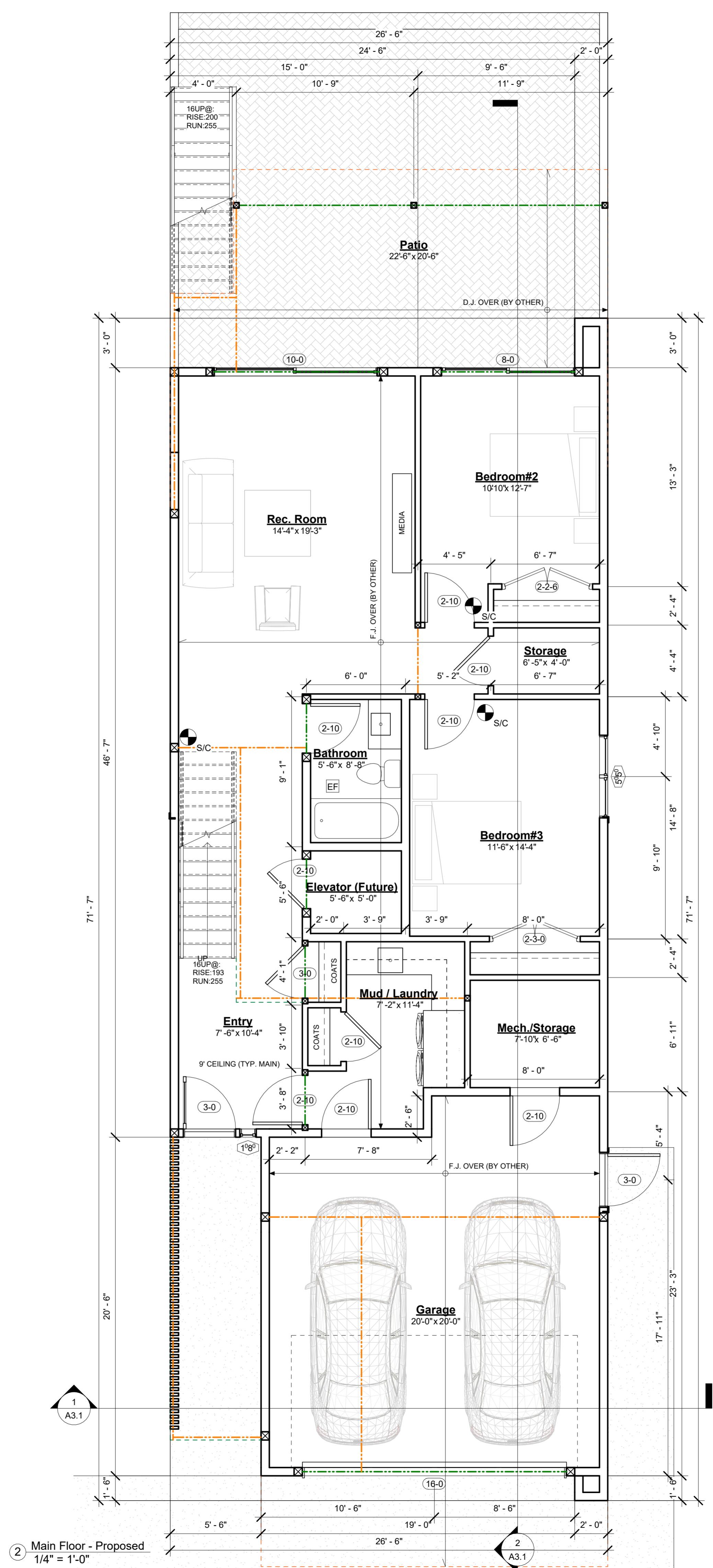
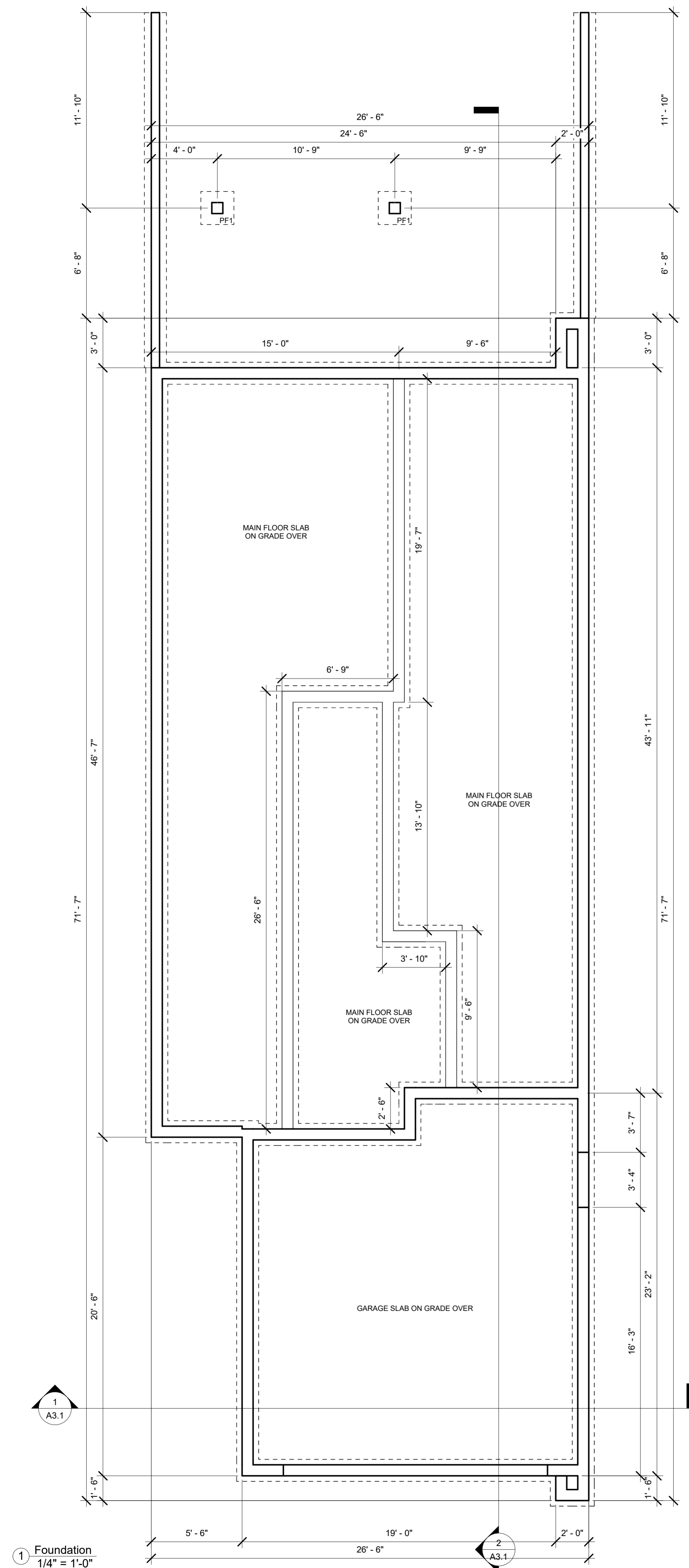
10255 Resthaven Dr. Lot 2 2304

ISSUE DATE: 24Sept24 REV 7

Date:	Description:	No.:
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23July/26	Concept 3	3
23Nov/16	90% Client Review	4
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24Sept/16	Issue for DVP	6
24Sept/24	Issue for DVP Rev.1	7

Foundation & Main Floor Plan

A1.1



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- ALL LINTELS TO BE 2x12 @ 24" O.C.
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MAIN FLOOR: 8'
SECOND FLOOR: 8'
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S_r: 0.3kPa

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PLAN LEGEND

WALL	—
ROOF OVER	--- (dashed blue)
FLOOR OVER	--- (dashed green)
DECK OVER	--- (dashed orange)
WALL BELOW	--- (dashed purple)
POST	⊗
FLUSH BEAM OVER	--- (dashed red)
DROP BEAM OVER	--- (dashed yellow)
GIRDER TRUSS OVER	--- (dashed pink)
S/C DETECTOR	⊗ S/C
DOOR SIZE	3-0 DENOTES 3'-0"
WINDOW SIZE	3-3 DENOTES 3'-3" X 3'-3"
JOIST SPAN DIRECTION	↔
LINE OF INTERIOR VAULT	--- (dashed red)

PROJECT

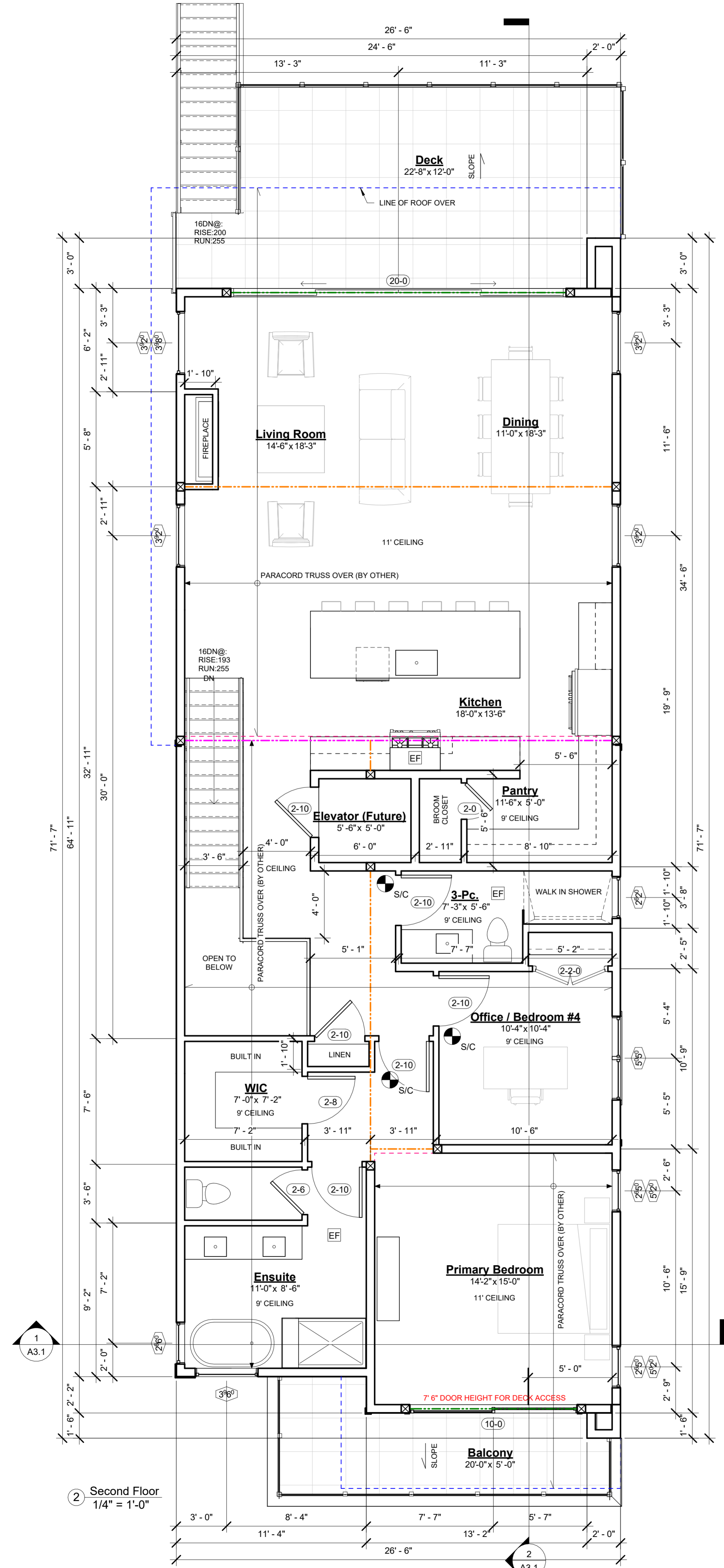
10255 Resthaven Dr. Lot 2 2304

ISSUE DATE: 24Sept24 REV 7

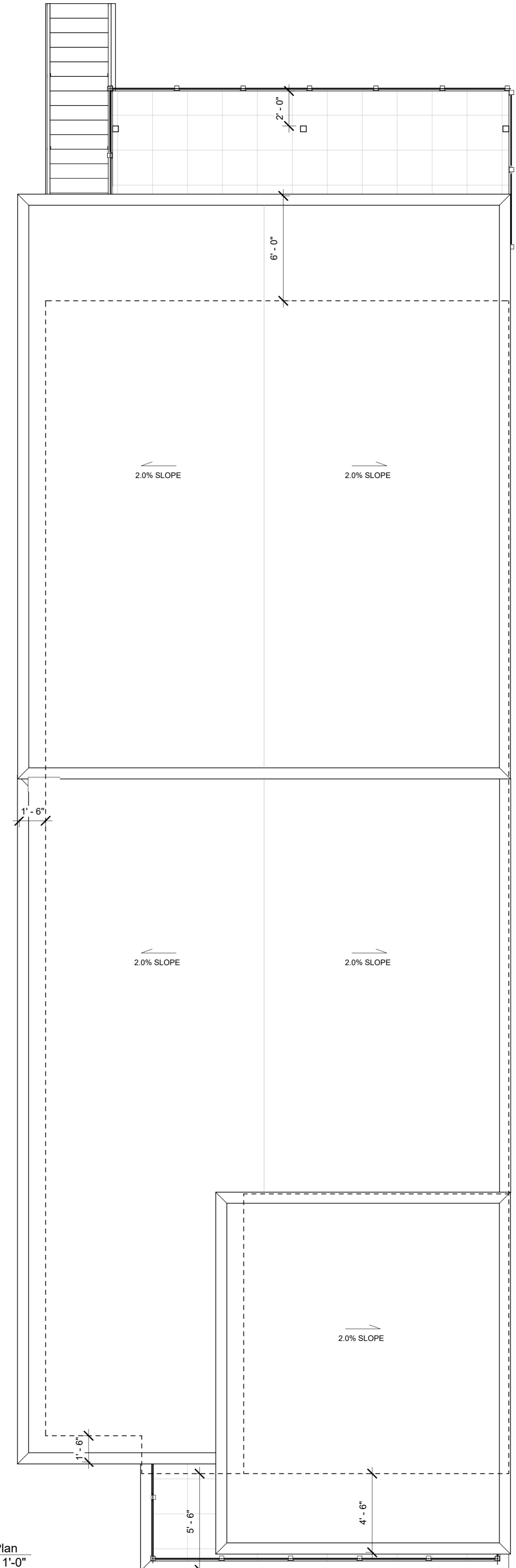
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Second Floor & Roof Plan

A1.2



1 Roof Plan
1/4" = 1'-0"



FLOOR AREA

MAIN FLOOR:	1196 SF
SECOND FLOOR:	1655 SF
TOTAL LIVING SPACE:	2851 SF
GARAGE:	469 SF
TOTAL BUILDING SF:	3320 SF

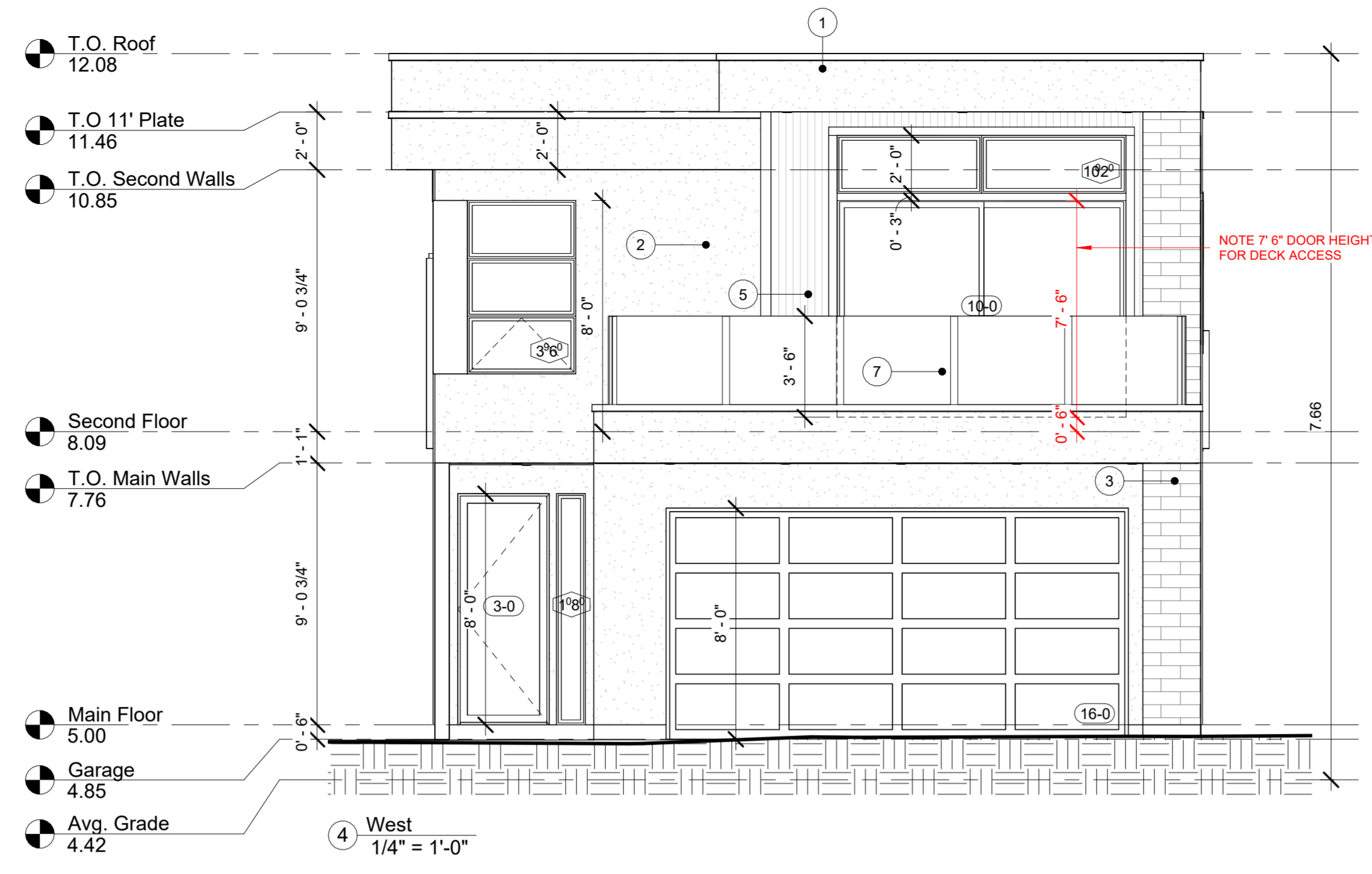
DRAWING SCALE: 1/4" = 1'-0" ALL MEASUREMENTS ARE IN FEET



2 Second Floor
1/4" = 1'-0"

FRAMING NOTES:

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- ALL LUMBER TO BE SPF#2 OR BETTER UNLESS NOTED OTHERWISE
- ALL EXTERIOR WALL AND ROOF SHEATHING TO BE 1/2" STANDARD FIR PLYWOOD UNLESS NOTED OTHERWISE
- ALL EXPOSED EXTERIOR POSTS TO BE 6X6 MIN.
- ALL LINTELS TO BE 2xPLY 2x10 U N O.
- ALL CONCRETE TO BE MINIMUM 25MPa AT 28 DAYS
- ALL INTERIOR DOORS TO PROVIDE MIN. 2-STUDS E/S AT JAMB FRAMING
- TYPICAL DOOR / WINDOW HEAD HEIGHT:
BASEMENT: 8'
MAIN FLOOR: 8'
SECOND FLOOR: 8'
- ALL EXPOSED EXTERIOR FRAMING TO BE PRESERVATIVE TREATED LUMBER; FIELD TREAT ALL CUTS
- DESIGN LOADS:
[SAANICH]: Ss: 2.1kPa
Sr: 0.3kPa

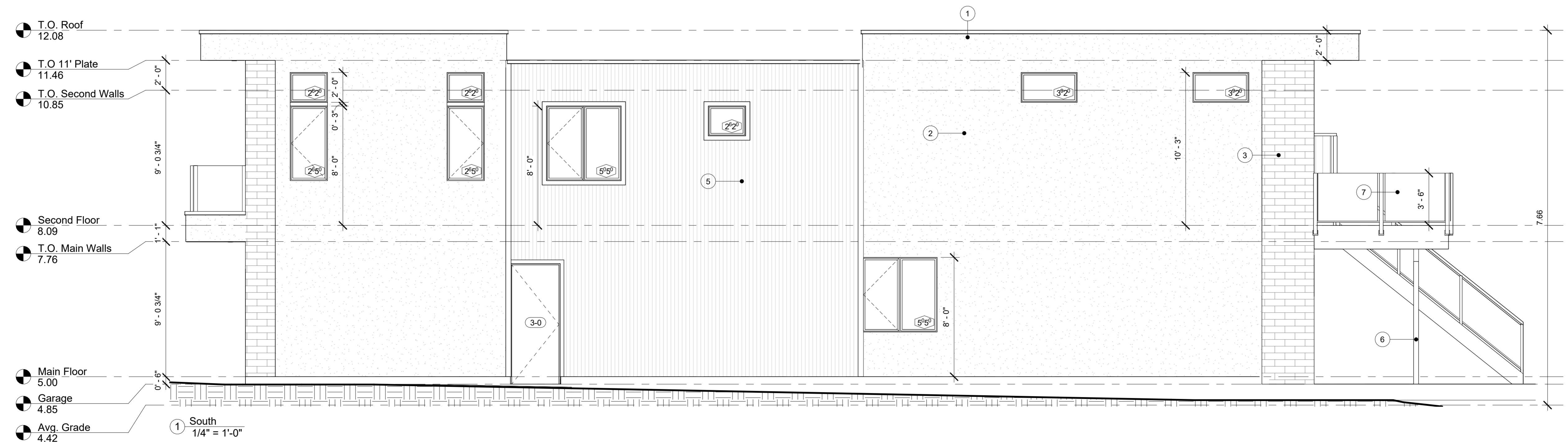


EXTERIOR FINISH NOTES

SOFFIT:	TYPICAL EAVE: U/S OF DECK:	T&G WOOD T&G WOOD
GUTTERS:	PARAPET WALL (ROOF DRAIN C/W 4" X 3" FORMED SHEET METAL DOWNPIPE)	
CORNER BOARDS:	1X4 PAINTED COMB FACE SPF	
WINDOW TRIM:	CORRUGATED METAL SIDING:	2X4 PAINTED COMB FACE SPF TOP AND SIDES
DOOR TRIMS:	CORRUGATED METAL SIDING:	2X4 PAINTED COMB FACE SPF TOP AND SIDES

ELEVATION NOTES LEGEND

1	2-PLY MOD. BIT ROOFING
2	ACRYLIC STUCCO
3	STONE VENEER
4	T&G V-GROOVE WOOD SIDING (VERTICAL)
5	CORRUGATED METAL PANEL
6	4"x4" HSS POST
7	TOPLESS GLASS ALUMINUM GUARD RAIL (3' 6" HEIGHT)
8	ALUMINUM GUARD RAIL C/W VERTICAL WOOD PANEL INSERTS (6" HEIGHT)



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PROJECT

**10255 Resthaven
Dr. Lot 2
2304**

ISSUE DATE: 24Sept24 REV 7

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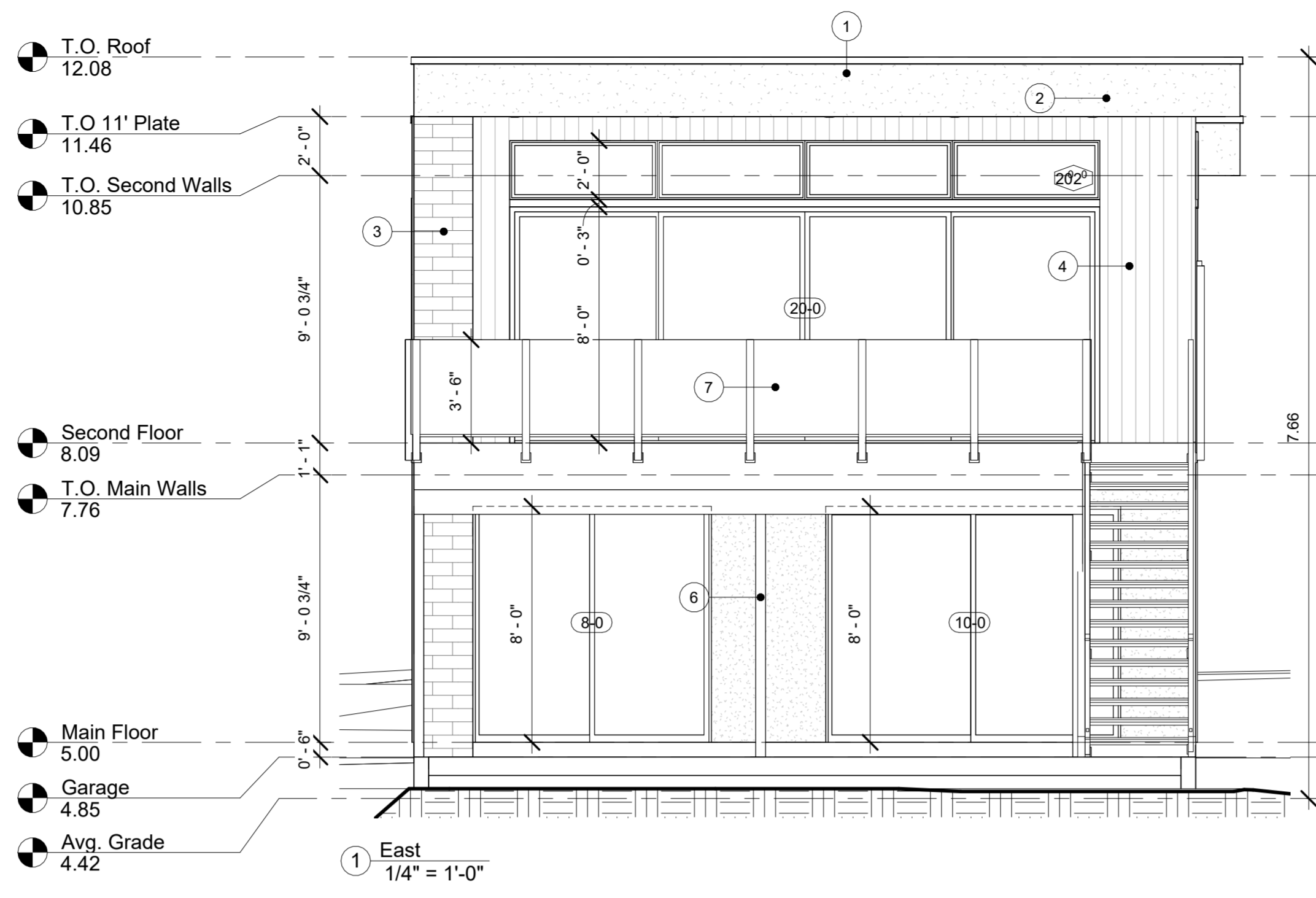
Elevations

A2.1

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- ALL EXTERIOR WALL AND ROOF SHEATHING TO BE 1/2" STANDARD FIR PLYWOOD UNLESS NOTED OTHERWISE
- ALL EXPOSED EXTERIOR POSTS TO BE 6X8 MIN.
- ALL LINTELS TO BE 2X12 @ 16" O.C.
- ALL CONCRETE TO BE MINIMUM 25MPa AT 28 DAYS
- ALL INTERIOR DOORS TO PROVIDE MIN. 2-STUDS E/S AT JAMB FRAMING
- TYPICAL DOOR / WINDOW HEAD HEIGHT:
BASEMENT: 8'
MAIN FLOOR: 8'
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- DESIGN LOADS:
[SAANICH] Ss: 2.1kPa
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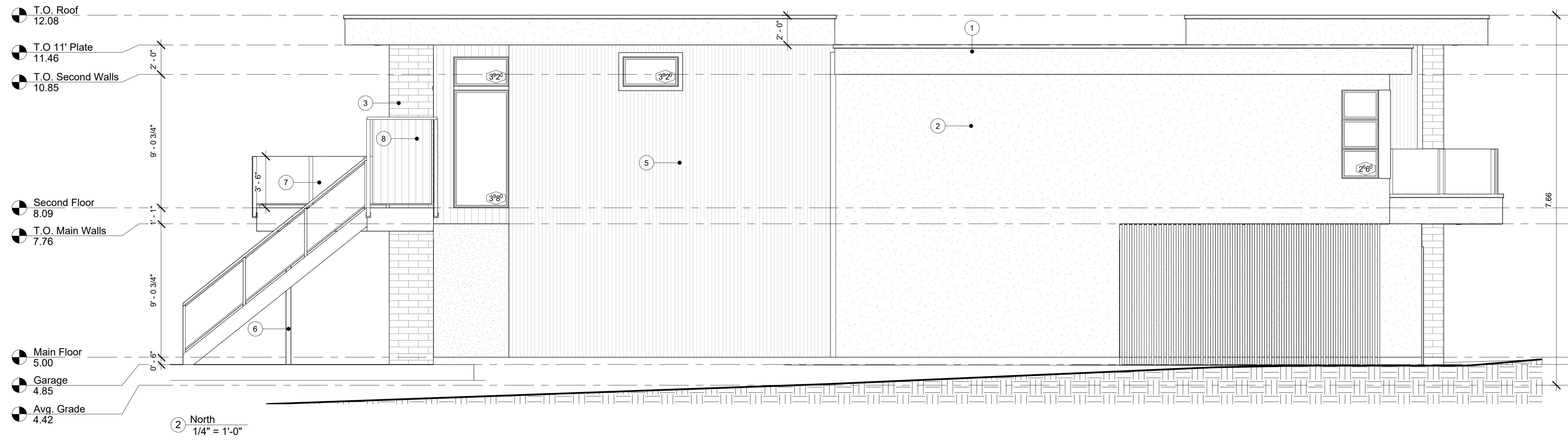


EXTERIOR FINISH NOTES

SOFFIT:	TYPICAL EAVE: U/S OF DECK:	T&G WOOD T&G WOOD
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ELEVATION NOTES LEGEND

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2	ACRYLIC STUCCO
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4	T&G V-GROOVE WOOD SIDING (VERTICAL)
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**10255 Resthaven
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ISSUE DATE: 24Sept24 REV 7

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Elevations

ASSEMBLY DESCRIPTIONS (REFER TO STEP CODE 3 COMPLIANCE REPORT FOR FULL ASSEMBLY DETAILS)			
EXTERIOR WALLS	INTERIOR WALLS	FLOOR SYSTEMS	ROOF SYSTEMS
EW1 EXTERIOR WALL - T&G WOOD SIDING 1 EXTERIOR AIR FILM 2 1X4 T&G V-GROOVE WOOD SIDING 3 1/2" AIR SPACE (FROM RAINSCREEN) 4 1/2" P.T. RAINSCREEN STRAPPING @ 8" O/C CW INSECT SCREEN T&B 5 SYNTHETIC SHEATHING MEMBRANE (AM BARRIER) 6 1/2" PLYWOOD SHEATHING 7 BATT INSULATION 8 2X6 WALL STUDS @ 16" O/C (SPF #2 OR BETTER) 9 1/2" GYPSUM WALL BOARD 10 VAPOUR BARRIER PAINT 11 FINISH TO OWNERS SPECIFICATION 12 INTERIOR AIR FILM	IW1 INTERIOR WALL - 2X4 WALL 1 FINISH TO OWNERS SPEC. 2 1/2" GYPSUM WALL BOARD 3 2X4 WALL STUDS @ 16" O/C (SPF #2 OR BETTER) 4 1/2" GYPSUM WALL BOARD 5 FINISH TO OWNERS SPEC. IW2 INTERIOR WALL - 2X6 WALL 1 FINISH TO OWNERS SPEC. 2 1/2" GYPSUM WALL BOARD 3 2X6 WALL STUDS @ 16" O/C (SPF #2 OR BETTER) 4 1/2" GYPSUM WALL BOARD 5 FINISH TO OWNERS SPEC. IW3 INTERIOR WALL - 2X6 WALL BETWEEN UNHEATED SPACES 1 EXTERIOR AIR FILM 2 1/2" GYPSUM WALL BOARD 3 2X6 WALL STUDS @ 16" O/C (SPF #2 OR BETTER) 4 BATT INSULATION 5 6mil POLY AV/BARRIER 6 1/2" GYPSUM WALL BOARD 7 INTERIOR AIR FILM	F1 FLOOR - TYPICAL JOIST FLOOR ASSEMBLY 1 FLOOR FINISH TO OWNERS SPEC 2 5/8" T&G PLYWOOD SUBFLOOR 3 ENG. FLOOR JOISTS (BY OTHER) 4 5/8" GYPSUM CD BOARD F2 FLOOR - GARAGE SLAB 1 SLOPED POWER TROWEL FINISH 2 4" CONCRETE S.O.G. 3 6mil POLY AV/BARRIER 4 COMPACTED SUB-BASE F3 FLOOR - FLOOR OVER UNHEATED SPACES 1 INTERIOR AIR FILM 2 5/8" T&G PLYWOOD SUBFLOOR 3 BATT INSULATION 4 ENG. FLOOR JOISTS (BY OTHER) 5 5/8" GYPSUM CD BOARD 6 EXTERIOR AIR FILM F4 FLOOR - UNHEATED MAIN FLOOR SLAB ABOVE FROST LINE 1 COMPACTED SUB-BASE 2 6mil POLY AV/BARRIER 3 XPS INSULATION 4 4" CONCRETE S.O.G. 5 SMOOTH HAND TROWEL FINISH 6 3/4" WOOD FLOORING TO OWNERS SPEC. 7 INTERIOR AIR FILM F5 FLOOR - CONCRETE PAVER DECK 1 PAVERS ON PEDESTALS 2 2-PLY SBS MEMBRANE 3 PROTECTION BOARD 4 5/8" T&G PLYWOOD SUBFLOOR 5 2X SLOPED TAPERS 6 ENG. FLOOR JOISTS (BY OTHER) 7 VENTED SOFFIT TO OWNERS SPEC. F6 FLOOR - CONCRETE PAVER ROOF DECK 1 PAVERS ON PEDESTALS 2 2-PLY SBS MEMBRANE 3 PROTECTION BOARD 4 5/8" T&G PLYWOOD SUBFLOOR 5 2X SLOPED TAPERS 6 EXTERIOR AIR FILM 7 ENG. FLOOR JOISTS (BY OTHER) 8 SPF INSUL. (AV BARRIER) 9 5/8" GYPSUM CD BOARD 10 INTERIOR AIR FILM F7 FLOOR - CANTILEVERED FLOOR 1 INTERIOR AIR FILM 2 5/8" T&G PLYWOOD SUBFLOOR 3 MINERAL WOOL INSULATION 4 ENG. FLOOR JOISTS (BY OTHER) 5 SOFFIT TO OWNERS SPECIFICATION 6 EXTERIOR AIR FILM	R1 ROOF - PARACORD TRUSS - FLAT CEILING (LOW SLOPE) 1 2 PLY MOD. BIT. ROOFING 2 PROTECTION BOARD 3 5/8" T&G PLYWOOD ROOF SHEATHING (SLOPED TRUSS) 4 EXTERIOR AIR FILM 5 ENG. ROOF TRUSSES (BY OTHER) 6 BATT INSULATION 7 6mil POLY AV/BARRIER 8 5/8" GYPSUM CD BOARD 9 INTERIOR AIR FILM
EW2 EXTERIOR WALL - ACRYLIC STUCCO 1 EXTERIOR AIR FILM 2 3-004T ACRYLIC STUCCO 3 STUCCO RITE 4 1/2" AIR SPACE (FROM RAINSCREEN) 5 1/2" P.T. RAINSCREEN STRAPPING @ 8" O/C CW INSECT SCREEN T&B 6 SYNTHETIC SHEATHING MEMBRANE (AM BARRIER) 7 1/2" PLYWOOD SHEATHING 8 BATT INSULATION 9 2X6 WALL STUDS @ 16" O/C (SPF #2 OR BETTER) 10 1/2" GYPSUM WALL BOARD 11 VAPOUR BARRIER PAINT 12 FINISH TO OWNERS SPECIFICATION 13 INTERIOR AIR FILM			
EW3 EXTERIOR WALL - CORRUGATED METAL PANEL 1 EXTERIOR AIR FILM 2 CORRUGATED METAL PANEL 3 1/2" AIR SPACE (FROM RAINSCREEN) 4 1/2" P.T. RAINSCREEN STRAPPING @ 8" O/C CW INSECT SCREEN T&B 5 SYNTHETIC SHEATHING MEMBRANE (AM BARRIER) 6 1/2" PLYWOOD SHEATHING 7 BATT INSULATION 8 2X6 WALL STUDS @ 16" O/C (SPF #2 OR BETTER) 9 1/2" GYPSUM WALL BOARD 10 VAPOUR BARRIER PAINT 11 FINISH TO OWNERS SPECIFICATION 12 INTERIOR AIR FILM			
EW4 EXTERIOR WALL - STONE VENEER 1 EXTERIOR AIR FILM 2 2" STONE VENEER 3 SCRATCH & BROWN COAT (PORTLAND CEMENT) 4 STUCCO RITE 5 1/2" AIR SPACE (FROM RAINSCREEN) 6 1/2" P.T. RAINSCREEN STRAPPING @ 8" O/C CW INSECT SCREEN T&B 7 SYNTHETIC SHEATHING MEMBRANE (AM BARRIER) 8 1/2" PLYWOOD SHEATHING 9 BATT INSULATION 10 2X6 WALL STUDS @ 16" O/C (SPF #2 OR BETTER) 11 1/2" GYPSUM WALL BOARD 12 VAPOUR BARRIER PAINT 13 FINISH TO OWNERS SPECIFICATION 14 INTERIOR AIR FILM			

BCBC 9.32 COMPLIANCE

HEATING SYSTEM
HEAT PUMP & AIR HANDLER

VENTILATION REQUIREMENTS
IN ACCORDANCE WITH 9.32.3.6:

KITCHEN:	INTERMITTENT	47L/S	N/A
BATHROOM:	CONTINUOUS	23L/S	9L/S

KITCHEN AND BATHROOM FANS
IN ACCORDANCE WITH 9.32.3.6:

PRINCIPAL VENTILATION SYSTEM SUPPLY AIR (9.32.3.4)
DUCTED FORCED AIR SYSTEM
PROVIDE SUPPLY AIR TO EACH BEDROOM AND EACH FLOOR LEVEL WITHOUT A BEDROOM

PRINCIPAL VENTILATION SYSTEM EXHAUST FAN (9.32.3.5)

TOTAL FLOOR AREA:	264.8m ²
NUMBER OF BEDROOMS:	4
PRINCIPAL EXHAUST FAN MINIMUM AIR-FLOW RATE PER 9.32.3.4:	35.0L/S

PRINCIPAL VENTILATION SYSTEM EXHAUST FAN:
MAIN FLOOR BATHROOM FAN

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 - ALL INTERIOR DOORS TO PROVIDE MIN. 2-STUDS E/S AT JAMB FRAMING
 - TYPICAL DOOR / WINDOW HEAD HEIGHT:
 - BASEMENT: 8'
 - MAIN FLOOR: 8'
 - SECOND FLOOR: 8'
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 - DESIGN LOADS: (SAANICH):
Ss: 2.1kPa
Sr: 0.3kPa

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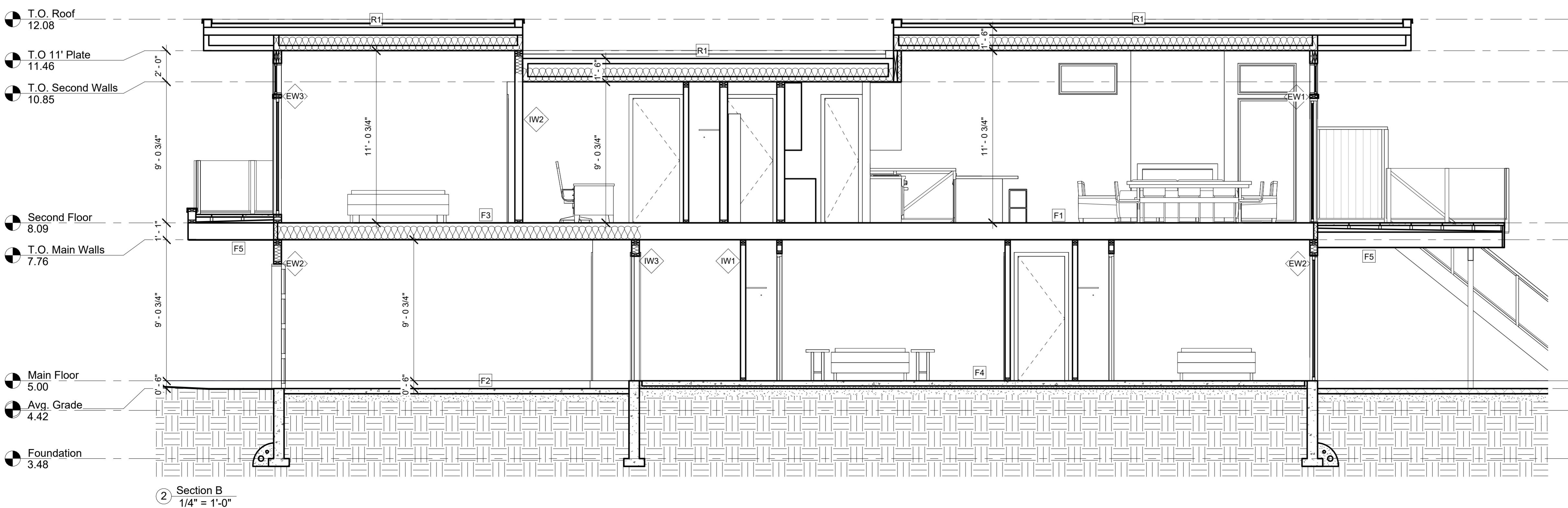
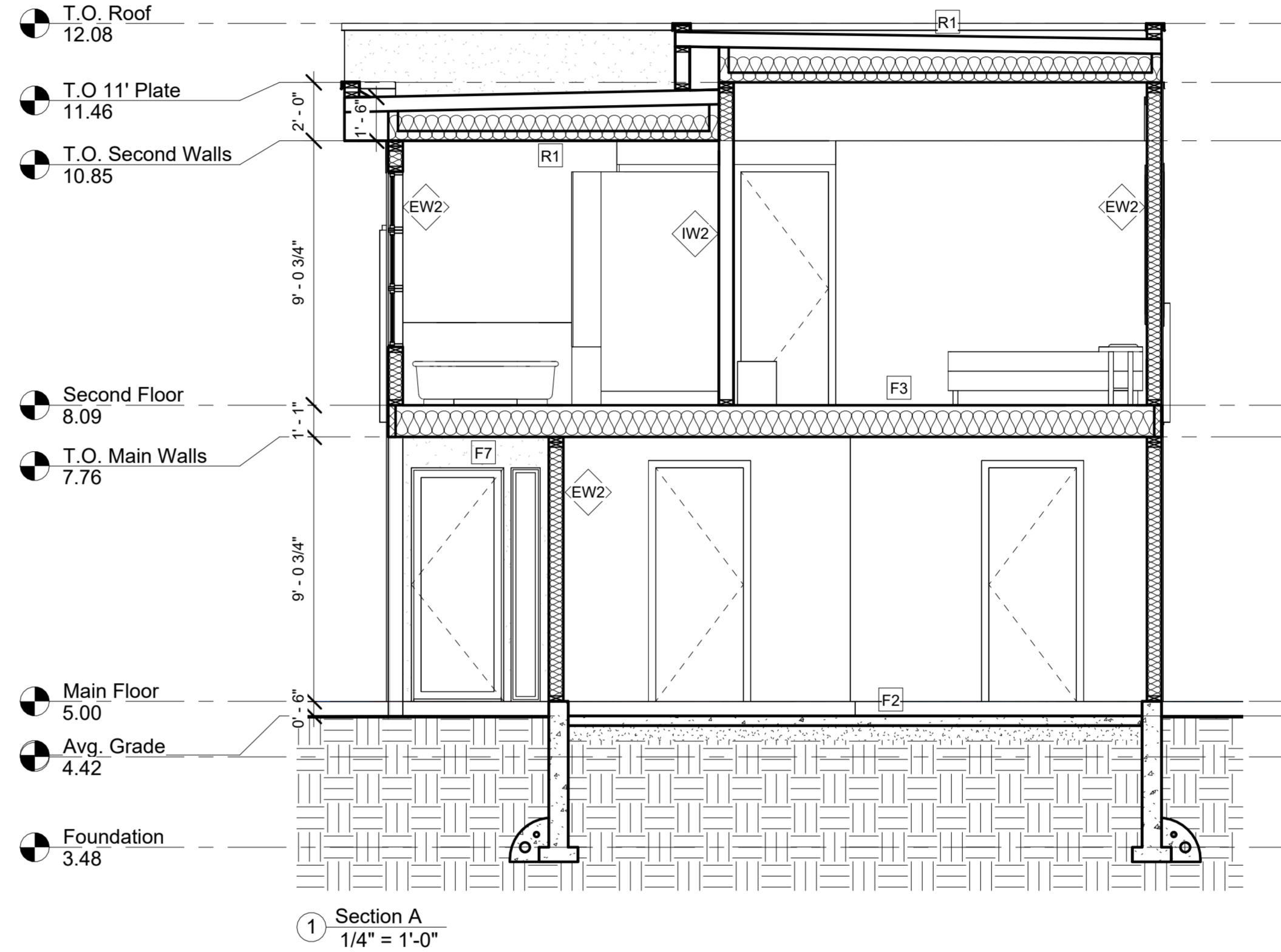
WALL	
ROOF OVER	
FLOOR OVER	
DECK OVER	
WALL BELOW	
POST	
FLUSH BEAM OVER	
DRIP BEAM OVER	
GRID TRUSS OVER	
SIC DETECTOR	
DOOR SIZE	
WINDOW SIZE	
JOIST SPAN DIRECTION	
LINE OF INTERIOR VAULT	

NAFS SPECIFICATIONS

PERFORMANCE GRADE:	40
STRUCTURAL:	1920 Pa
WATER:	360 Pa
AIR:	A2

BCBC 9.36

MAXIMUM U-VALUE FOR FENESTRATION:	1.61 W/(m ² *K)
-----------------------------------	----------------------------



DRAWING SCALE: 1/4" = 1'-0" ALL MEASUREMENTS ARE IN FEET

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PROJECT

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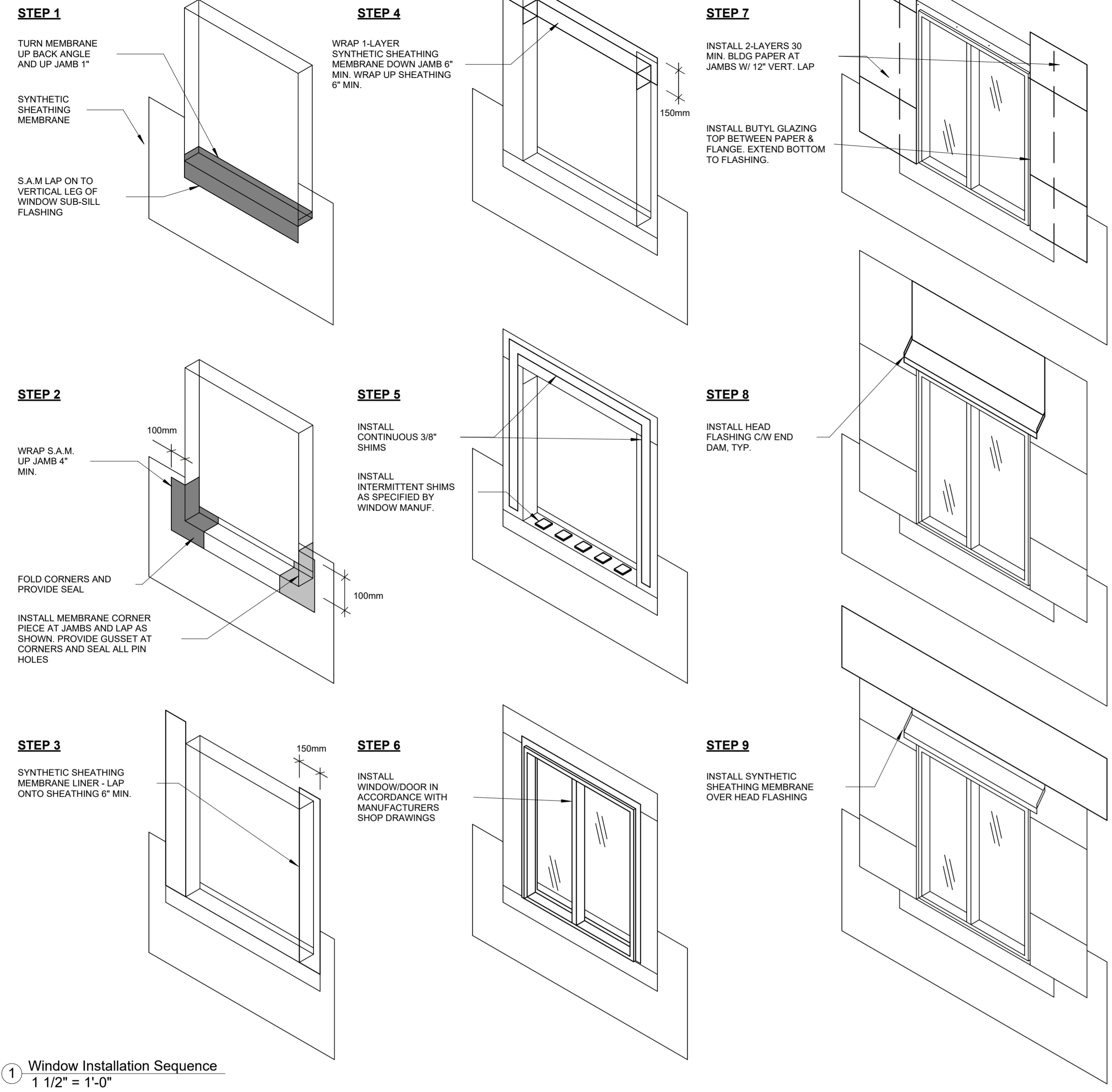
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Sections & Assemblies

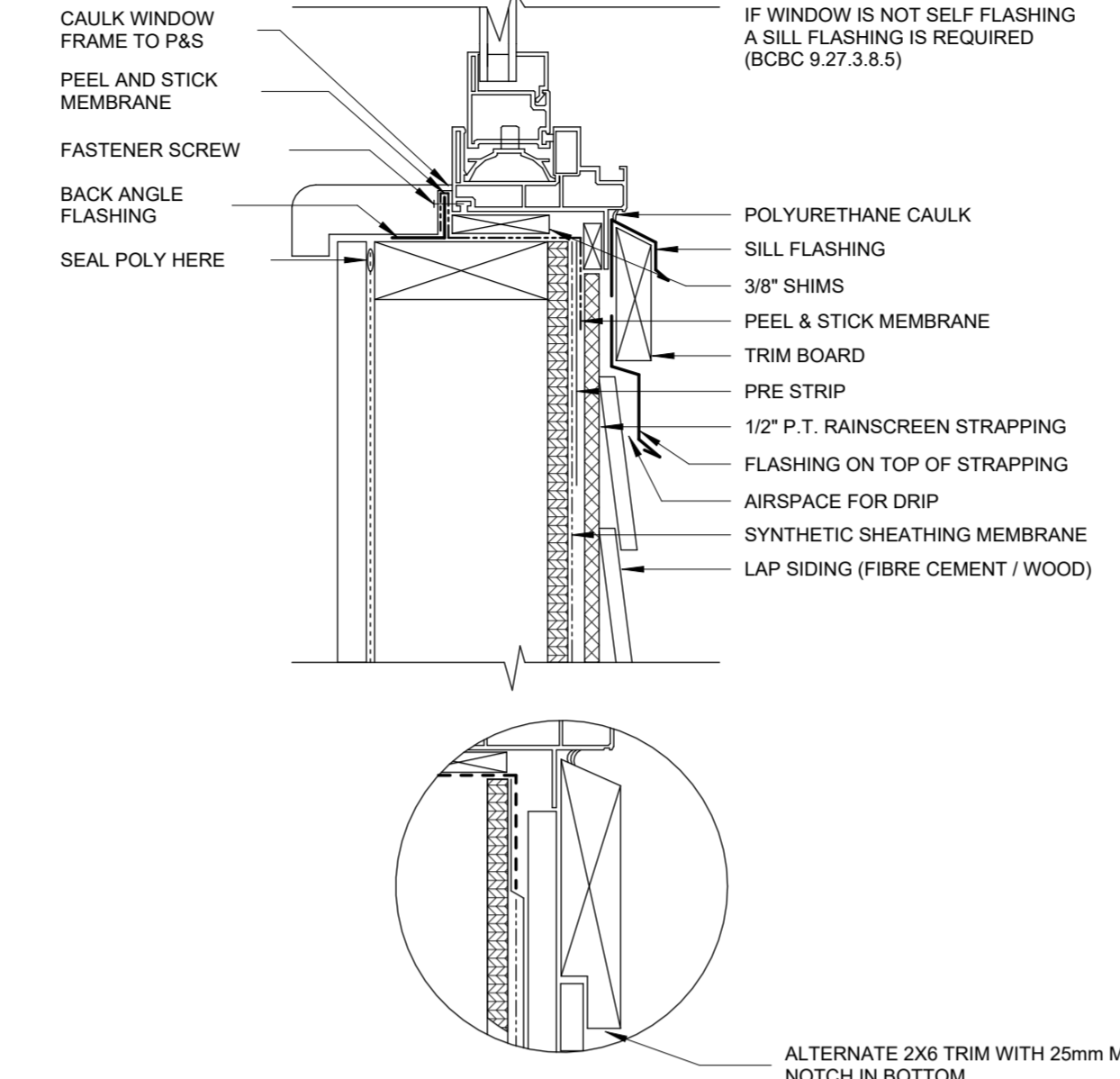
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GENERAL NOTES:

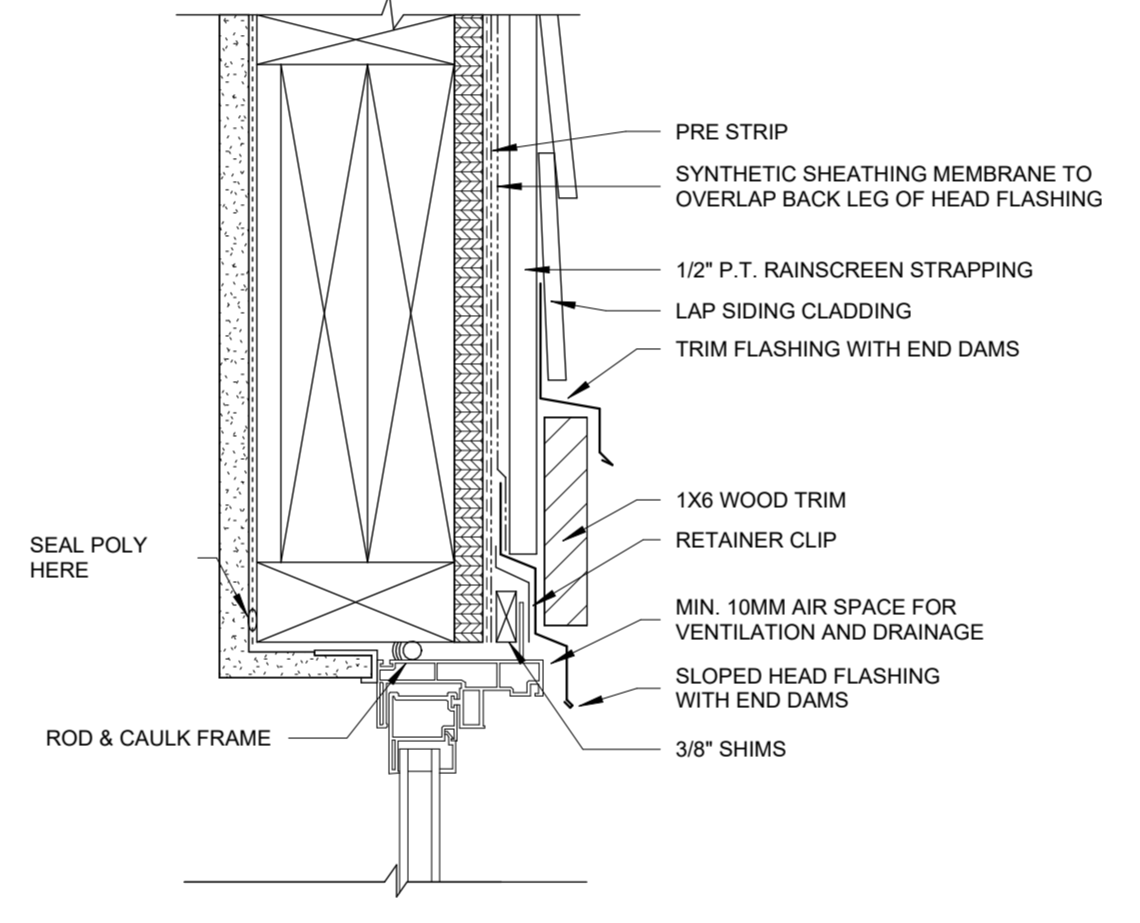
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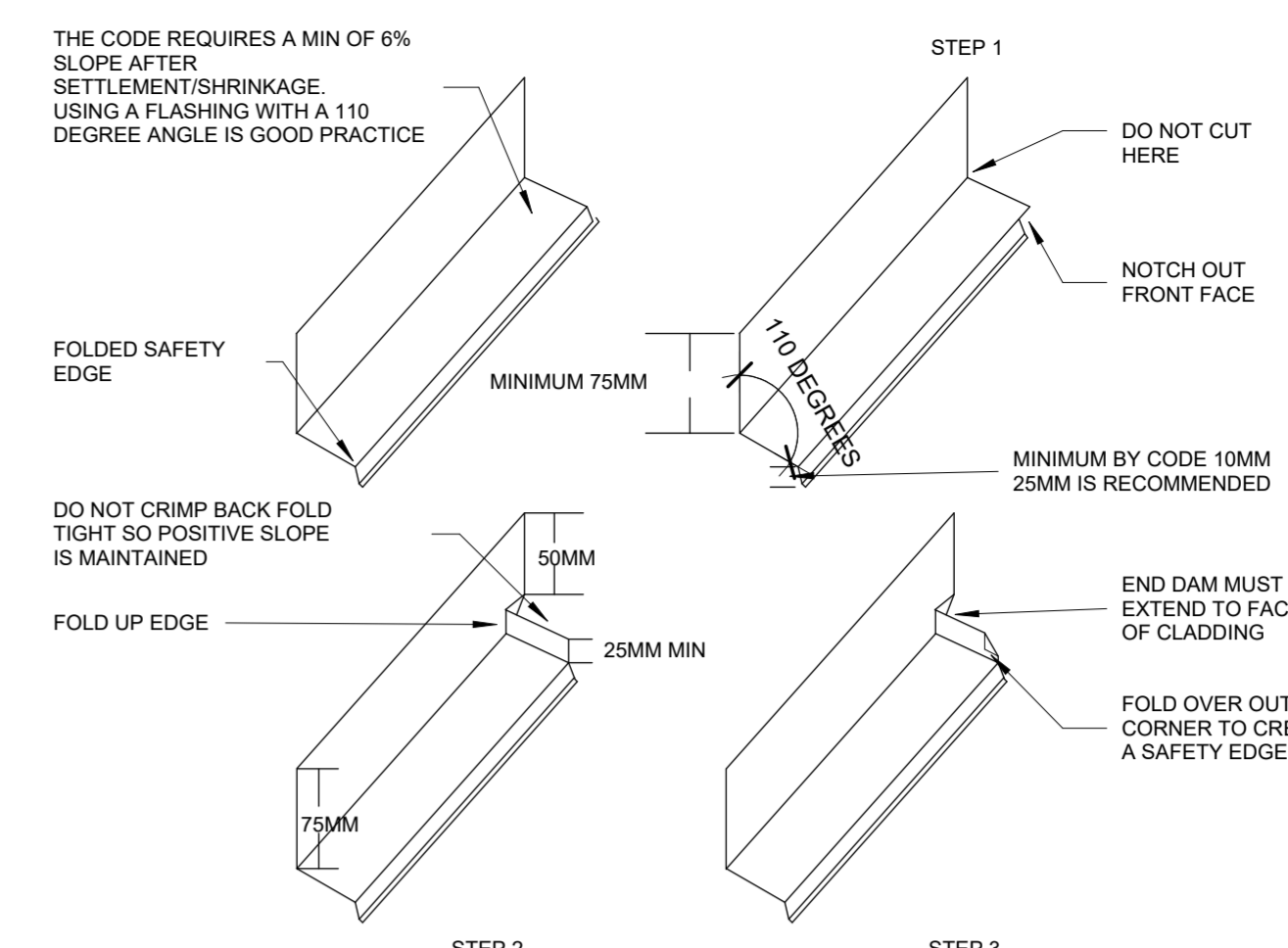
1 Window Installation Sequence
1 1/2" = 1'-0"



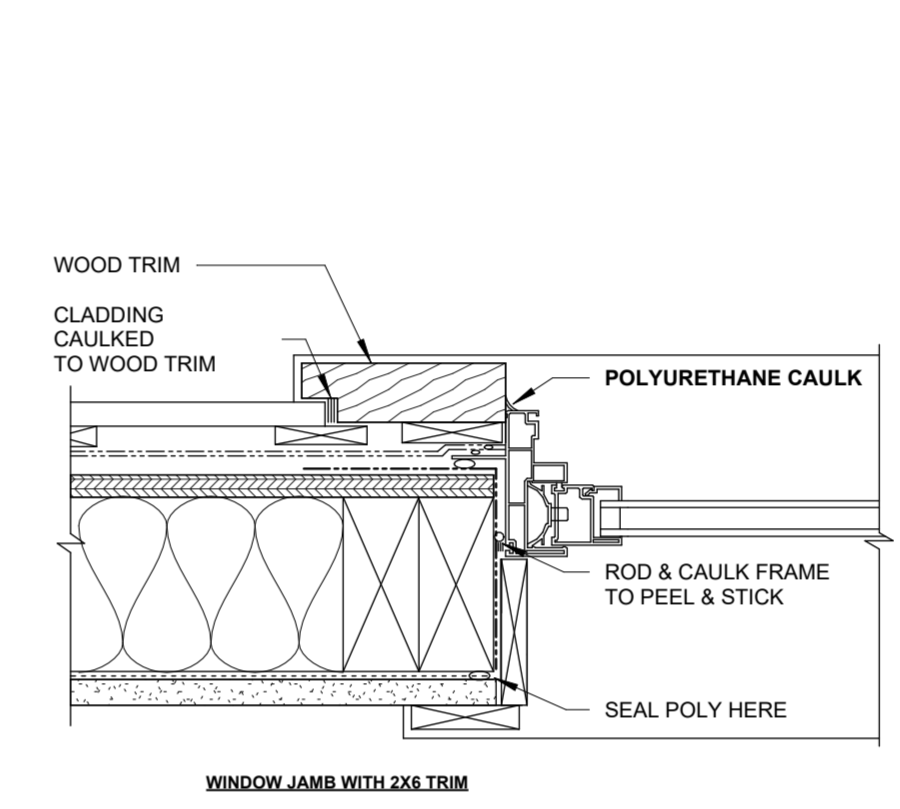
2 Window Sill Detail - Lap Siding
2" = 1'-0"



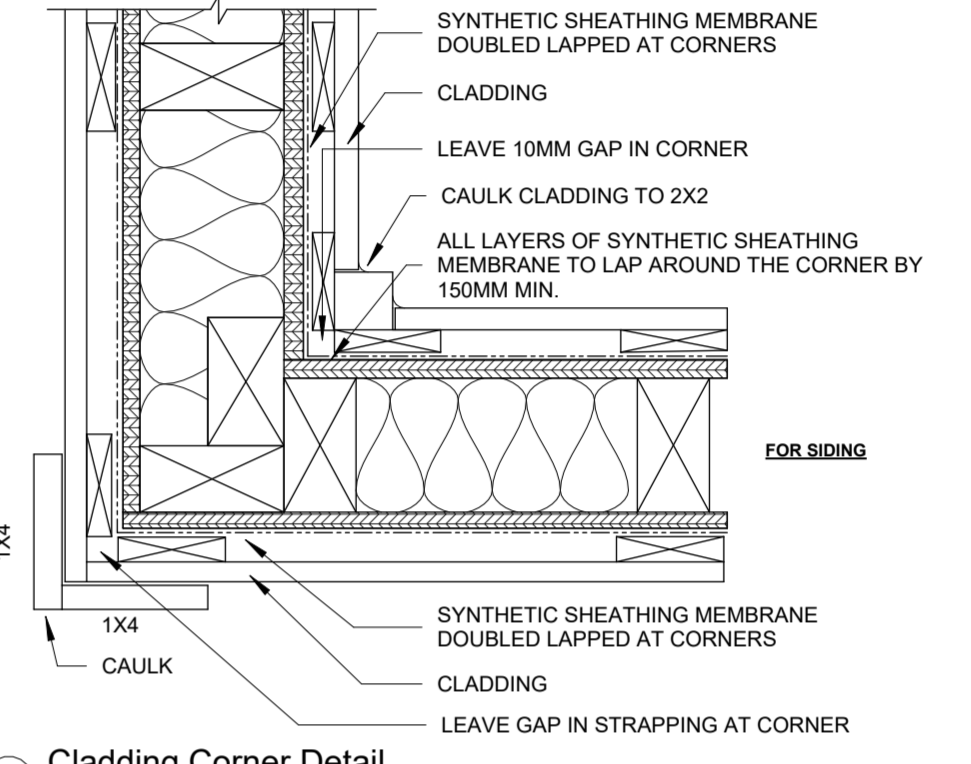
4 Window Head Detail - Lap Siding
2" = 1'-0"



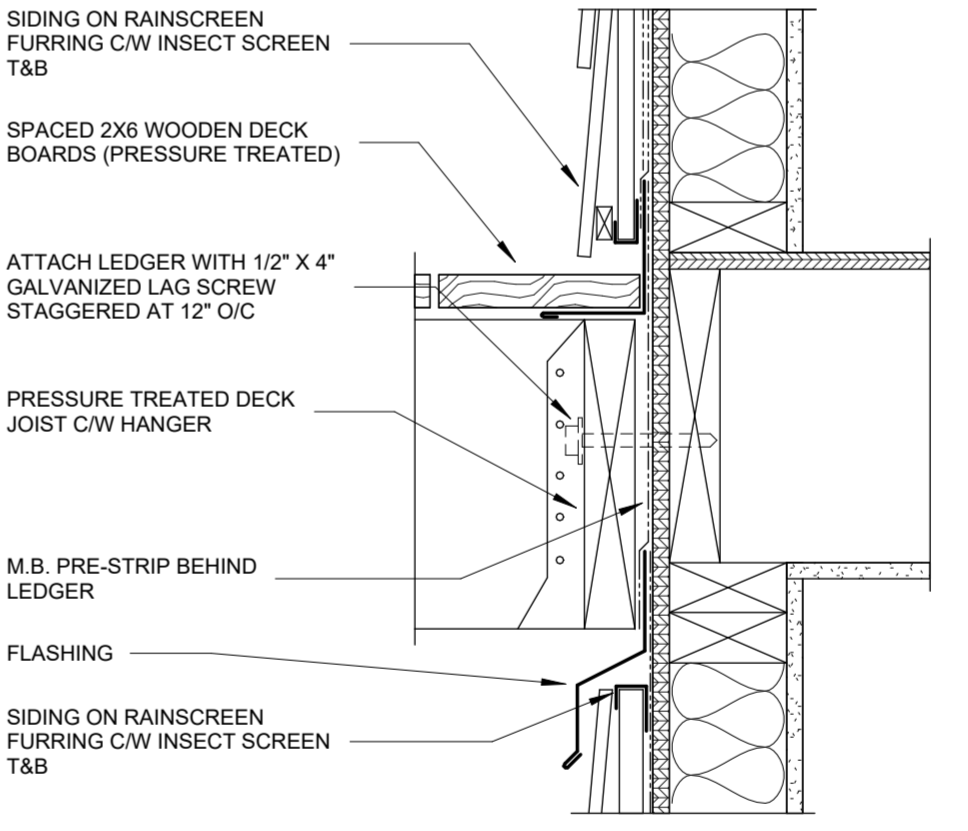
3 Typical Flashing With End Dam
1 1/2" = 1'-0"



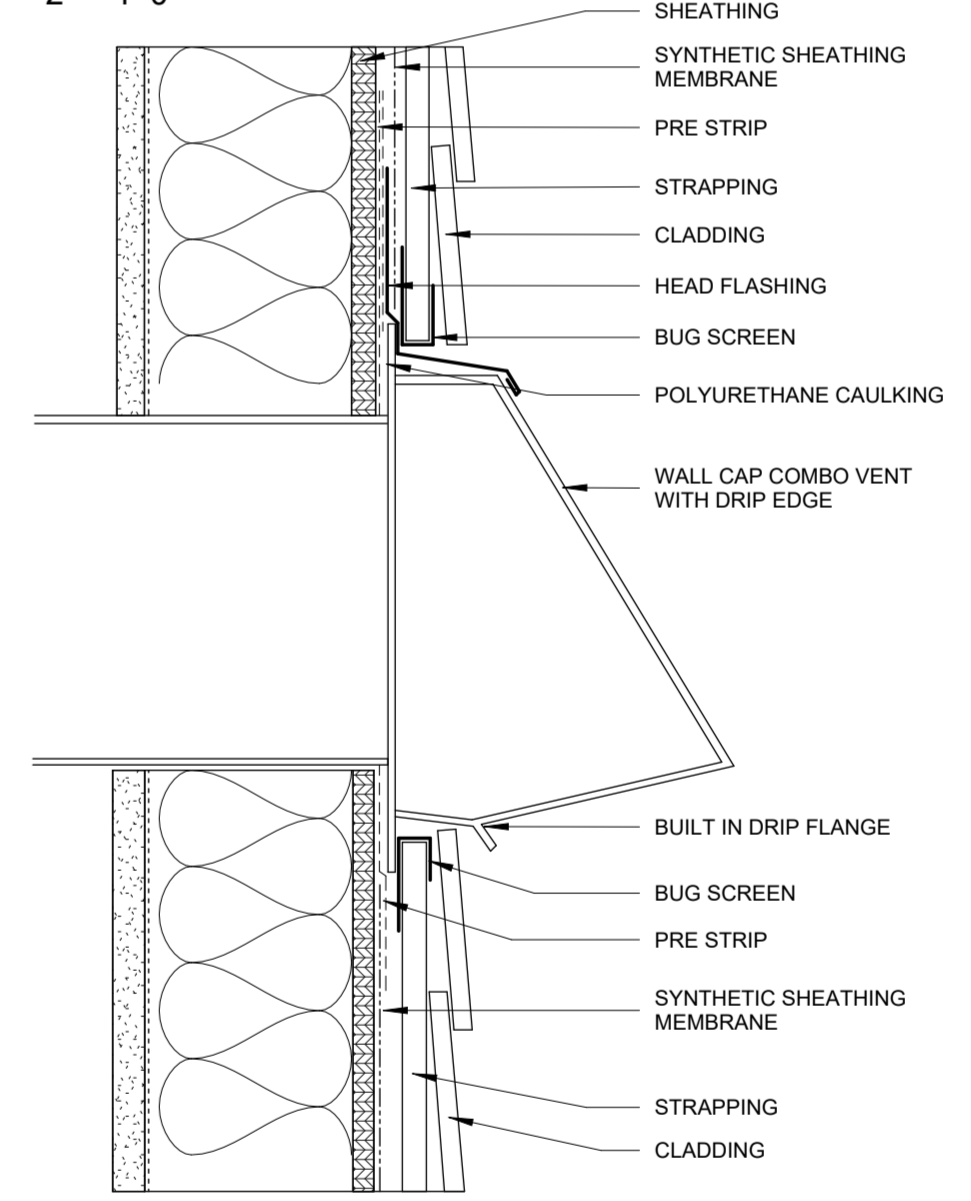
5 Window Jamb Detail - Lap Siding
2" = 1'-0"



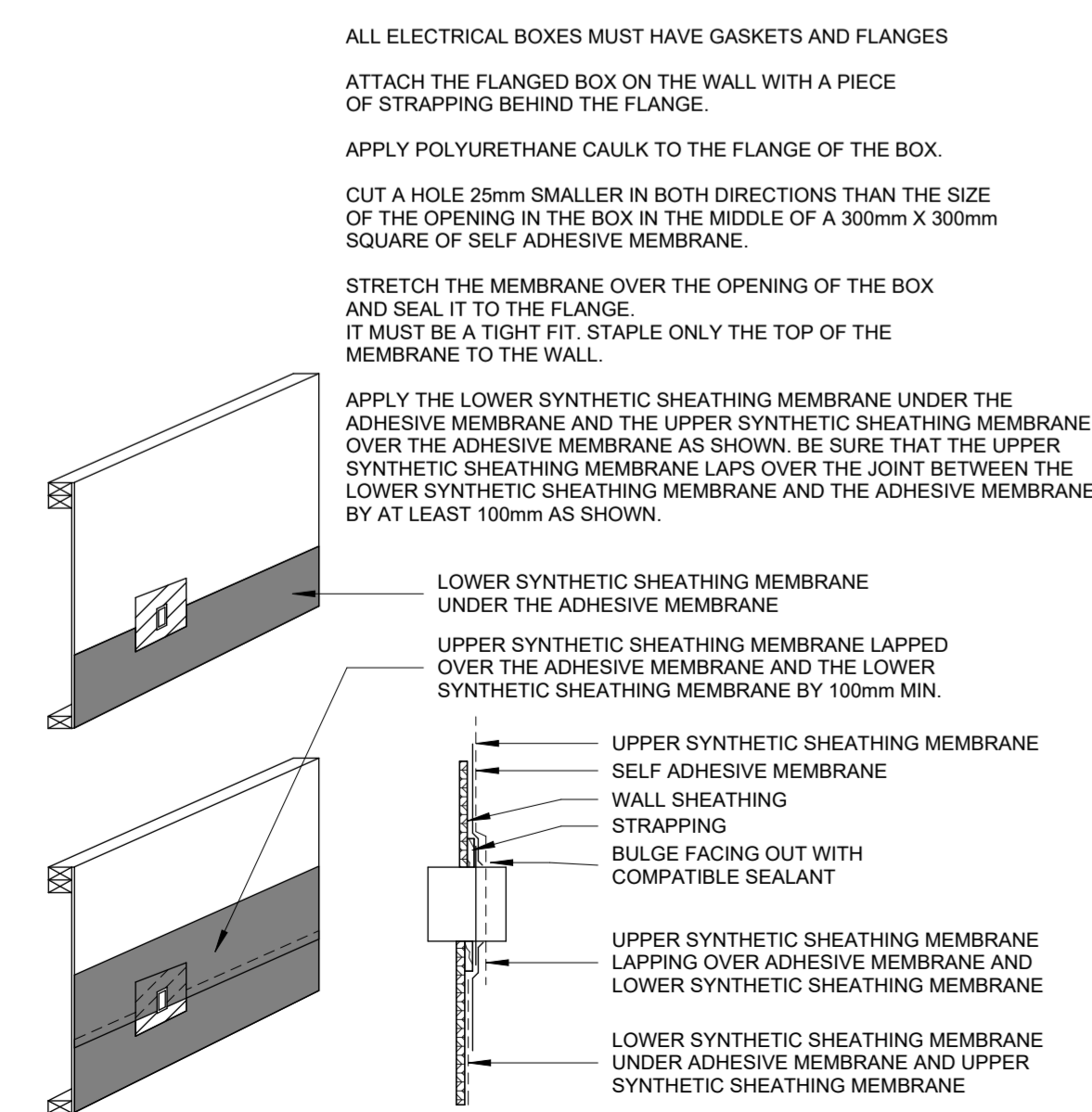
6 Cladding Corner Detail
2" = 1'-0"



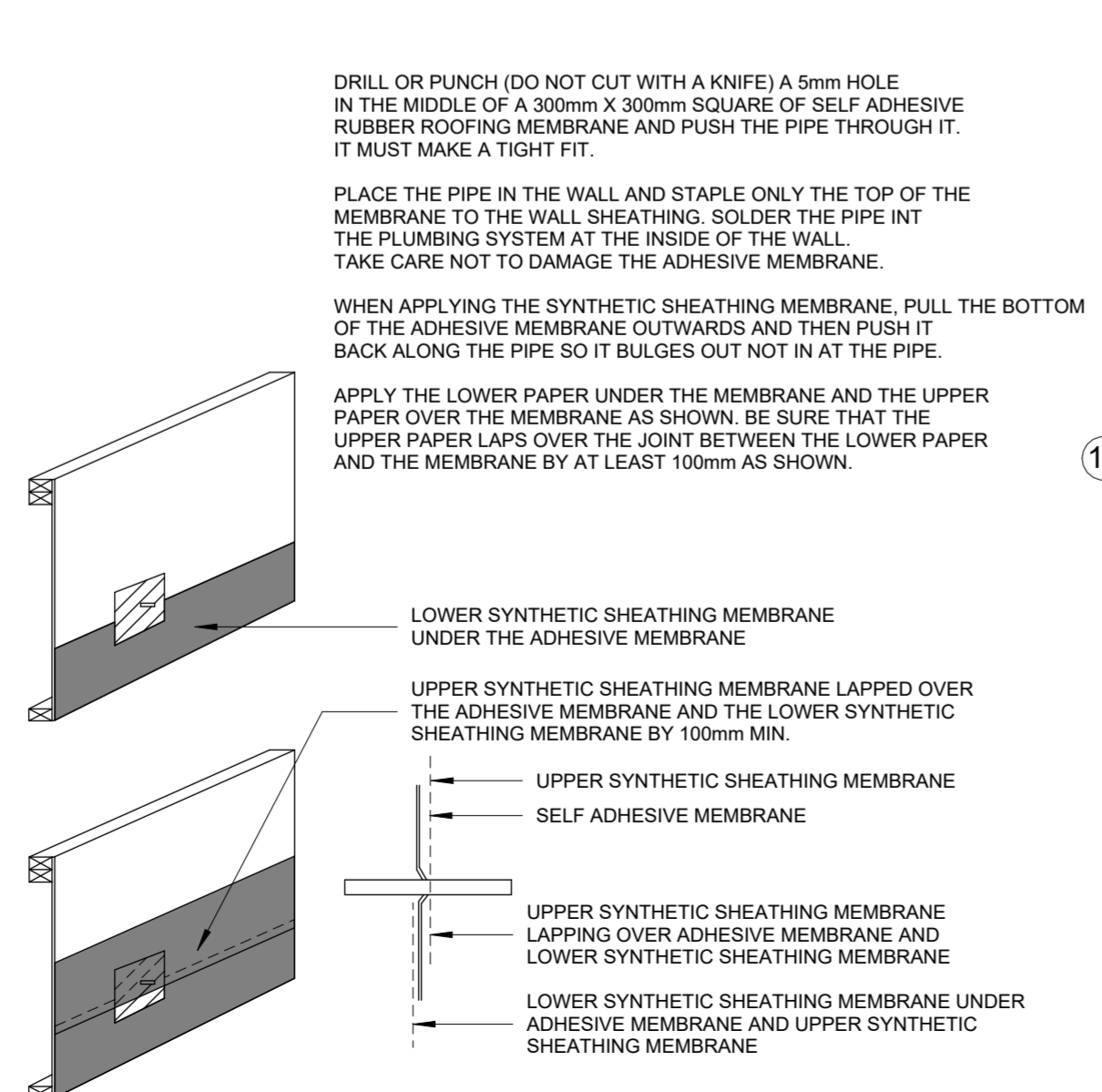
7 Deck to Wall Connection - Spaced Deck Boards
2" = 1'-0"



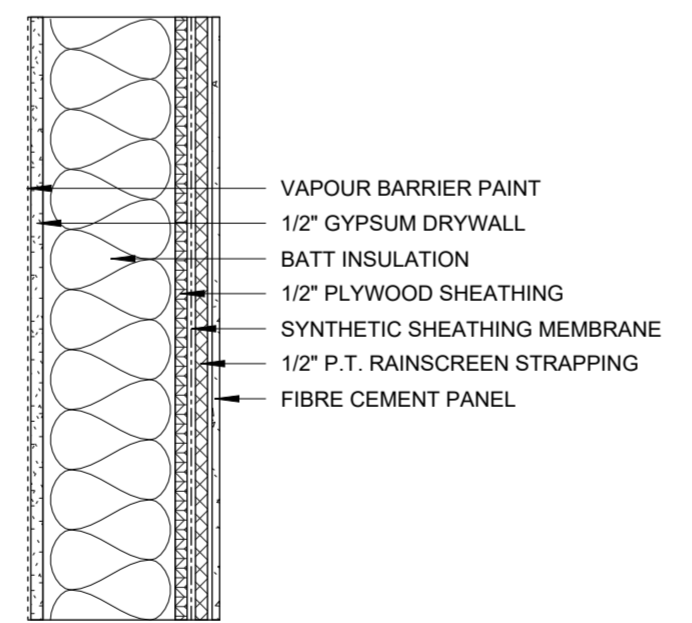
8 Vent Penetration Detail
2" = 1'-0"



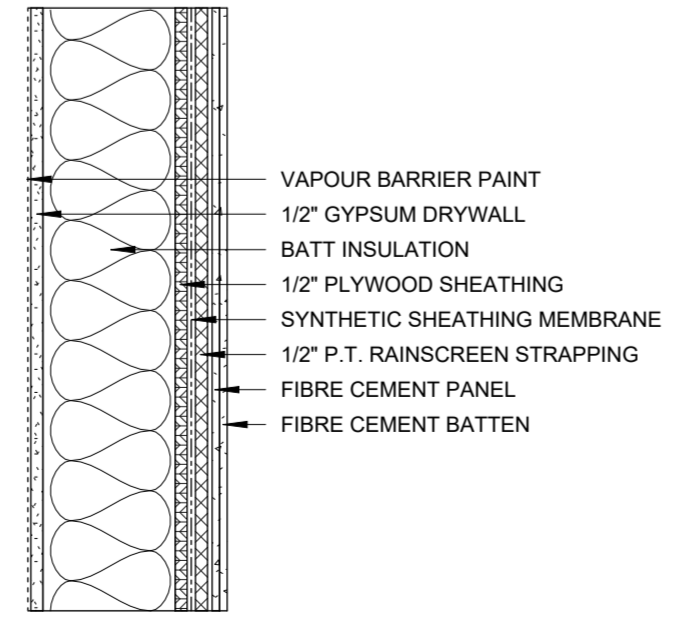
9 Electrical Reception Penetration Detail
1 1/2" = 1'-0"



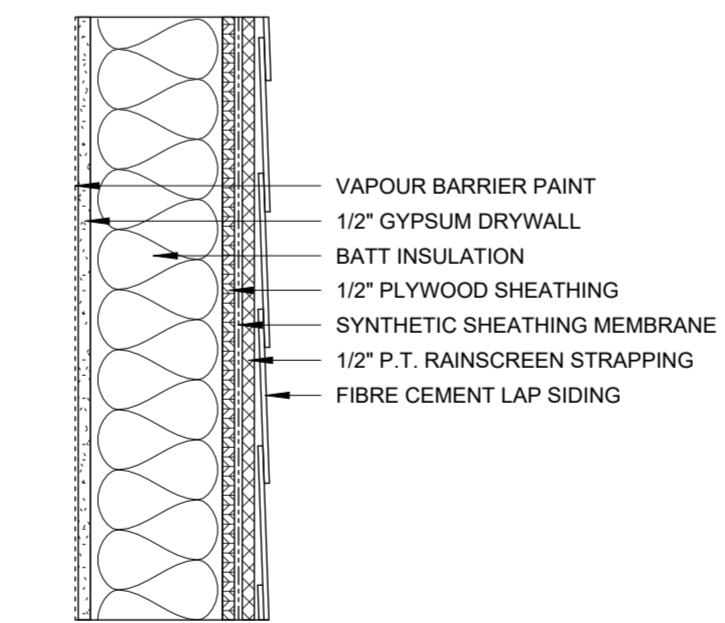
10 Hose Bib Penetration Detail
1 1/2" = 1'-0"



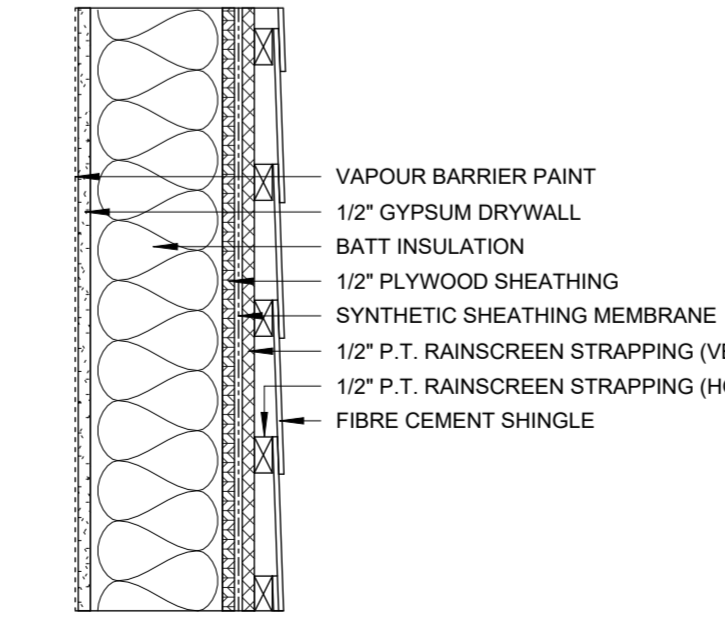
12 Wall Assembly - Fibre Cement Panel Siding
1 1/2" = 1'-0"



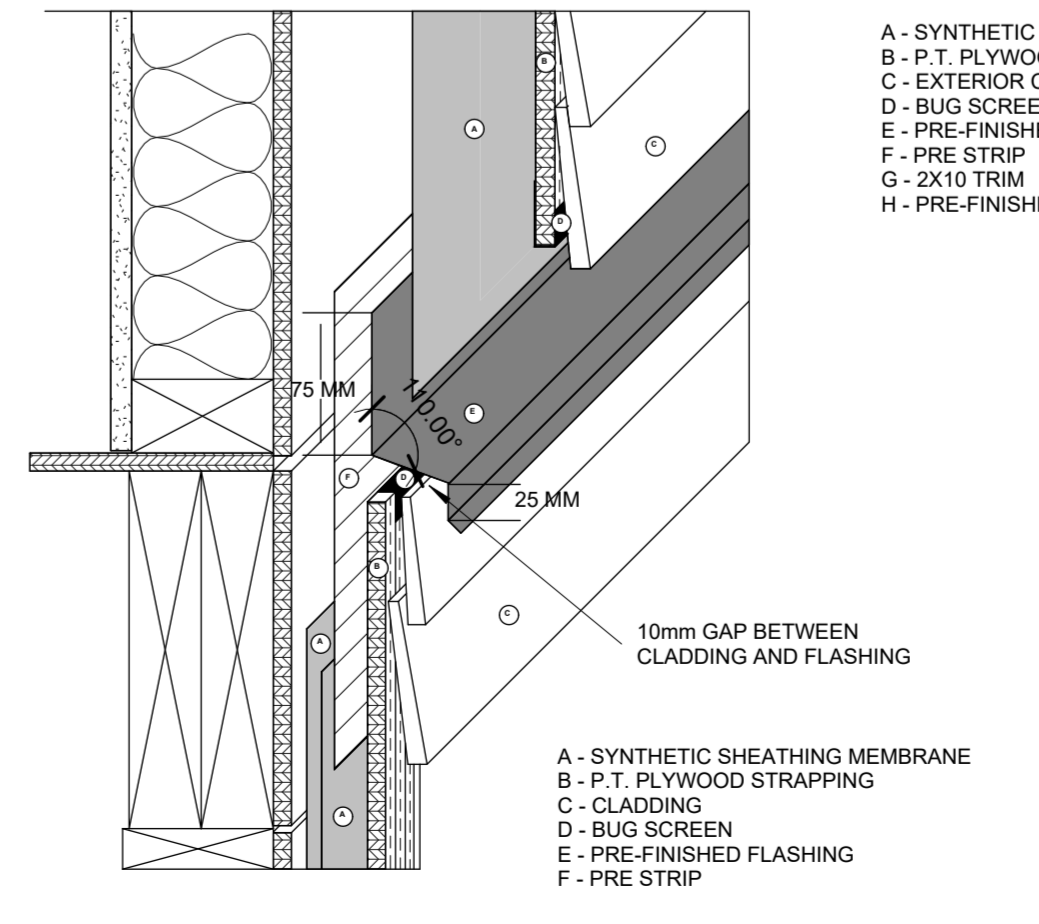
11 Wall Assembly - Board & Batten
1 1/2" = 1'-0"



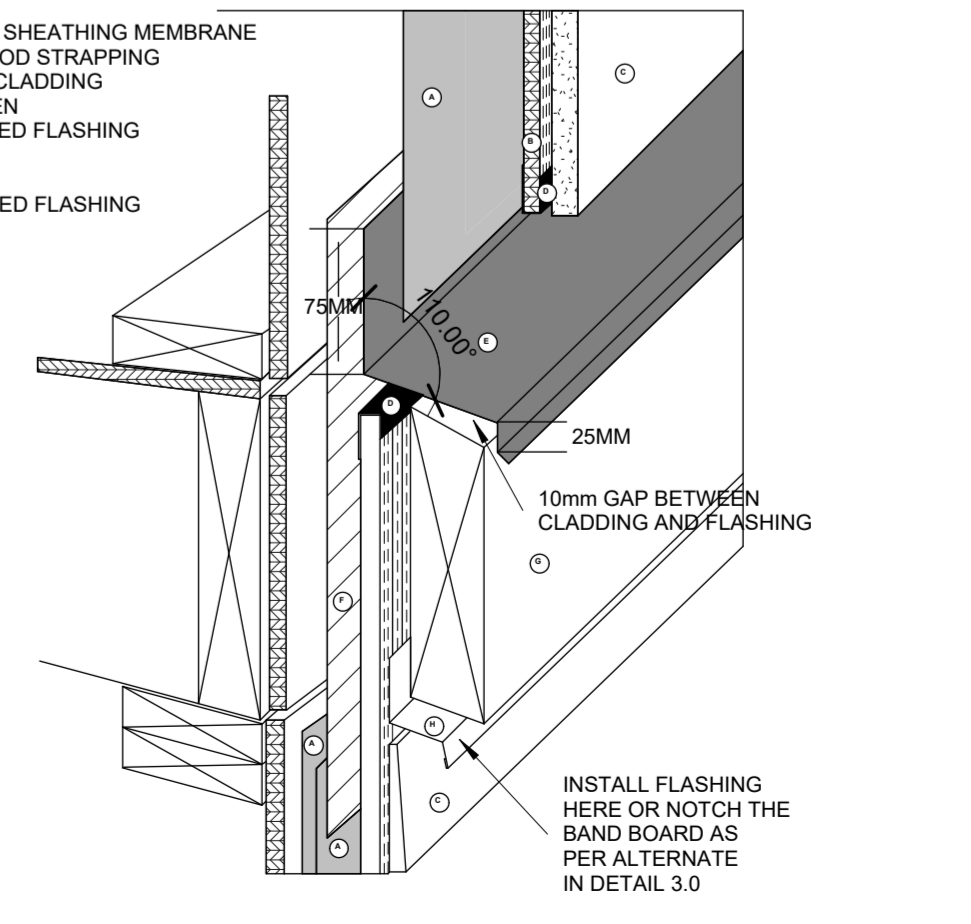
14 Wall Assembly - Lap Siding
1 1/2" = 1'-0"



18 Wall Assembly - Shingle Siding
1 1/2" = 1'-0"



15 Thru Cavity Flashing Detail
1 1/2" = 1'-0"



16 Belly Band Trim Detail
1 1/2" = 1'-0"

PROJECT

10255 Resthaven
Dr. Lot 2
2304

ISSUE DATE: 24Sept24 REV 7

No.:	Description:	Date:
1	Concept 1	23Apr/28
2	Concept 2	23May/31
3	Concept 3	23July/26
4	90% Client Review	23Nov/16
5	Issue for Engineering	23Dec/13
6	Issue for DVP	24Sept/16
7	Issue for DVP Rev.1	24Sept/24

Details