



RESTHAVEN TOWNHOUSES

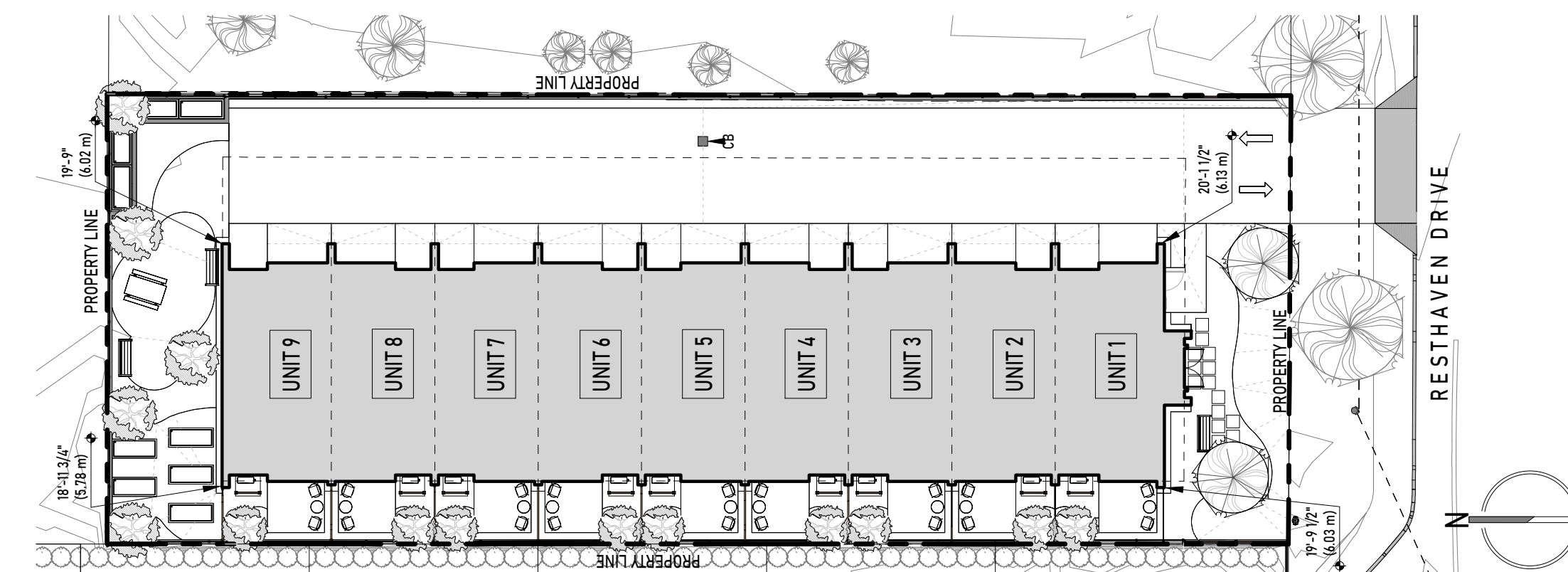
APARTMENT BUILDING	RE-ISSUED FOR DEVELOPMENT PERMIT
CIVIC ADDRESS:	10473 RESTHAVEN DRIVE, SIDNEY BC V8L 3H6
LEGAL DESCRIPTION:	LOT 1, SECTION 16, RANGE 2E, NORTH SAANICH DISTRICT, PLAN VIS1448



EXISTING STREET VIEW



CONCEPTUAL RENDERING



EXISTING GRADES	LENGTH
SOUTHEAST CORNER	6.13 m
SOUTHWEST CORNER	6.03 m
NORTHWEST CORNER	5.78 m
NORTHEAST CORNER	6.02 m
TOTAL	23.96 m
(/4)	
AVERAGE EXISTING GRADE	5.99 m

GRADE PLAN

PROJECT STATISTICS		24027 - 10473 RESTHAVEN DRIVE	
		DATE: 19-Sep-2024	
SITE INFORMATION			
CIVIC ADDRESS	10473 RESTHAVEN DRIVE, SIDNEY, BC V8L 3H6		
LEGAL ADDRESS	LOT 1, SECTION 16, RANGE 2E, NORTH SAANICH DISTRICT, PLAN VIS1448		
SITE AREA	1201 m ²	12,928 SF	
EXISTING			
ZONING	RM6	REQUIRED RM6	PROPOSED RM6
FLOOR AREA RATIO (FAR)	-	1.75	1.02
SITE COVERAGE	-	45.0%	41.2%
SETBACKS			
BUILDING HEIGHT	Max: 3 Storeys	12.00 m (Max)	39.37' (Max)
FRONT (SOUTH)	5.00 m (Min)	16.40' (Min)	5.00 m (Min)
REAR (NORTH)	5.50 m (Min)	18.04' (Min)	5.50 m (Min)
INTERIOR SIDE (WEST)	3.00 m (Min)	9.84' (Min)	3.00 m (Min)
INTERIOR SIDE (EAST)	3.00 m (Min)	9.84' (Min)	7.00 m (Min)
BUILDING DATA			
MULTIFAMILY UNITS	DESCRIPTION	# OF UNITS	AREA
UNIT A	2BR-3BATH	6	135 m ² / 1,451 SF
UNIT B (3 BED)	3BR-3BATH	1	135 m ² / 1,451 SF
UNIT C (ADAPTABLE)	2BR-3BATH	1	143 m ² / 1,539 SF
UNIT D (ADAPTABLE)	3BR-3BATH	1	140 m ² / 1,510 SF
TOTALS		9	1,087 m ² / 11,696 SF
FLOOR AREAS		GROSS	NET
LEVEL 1		279 m ² / 3,003 SF	
LEVEL 2		461 m ² / 4,942 SF	
LEVEL 3		484 m ² / 5,208 SF	
TOTAL		1,224 m ² / 13,173 SF	
AMENITY SPACE		206 m ² / 2,214 SF	
BUILDING FOOTPRINT AREA		496 m ² / 5,330 SF	
PARKING DATA			
PARKING TYPE	Bylaw 2140 - 4.1.1	REQUIRED	PROPOSED
RESIDENTIAL		9.0	9
VISITOR		0.0	0
TOTAL PARKING		9.0	9
PARKING STALL MIX			
	Required	%	Proposed
Standard Stall	7	78%	7
Small Car Stall (30% Max)	-	-	0
Accessible Stall	2	22%	2
LOADING STALLS	Bylaw 2140 - Section 4	0	0
BICYCLE PARKING			
	Bylaw 2140 - Section 5	0	0
Class I	0	-	0
Class II	0	-	0

CONSULTANT LIST
CLIENT: MERVDN GROUP OF COMPANIES Tel: 250-812-0554 Contact: Wayne Hopkins
ARCHITECT: UNION ARCHITECTURE INC. 315-2840 Peatt Road, Langford, BC Tel: 778-405-2162 Contact: Rob Pringle <i>Architect AIBC</i>
CIVIL: MCELHANNEY 500-3960 Quadra Street, Victoria, BC Tel: 778-746-7417 Contact: Nathan Dunlop <i>BEng, PEng</i>
SURVEYOR: J.E. ANDERSON & ASSOCIATES 4212 Glanford Avenue, Victoria, BC Tel: 250-727-2214 Contact: Ryan Hourston <i>BCLS</i>
LANDSCAPE: LANDSCAPE SOLUTIONS / STUDIO ONE CREATIVE 4539 Viewmont Avenue, Victoria, BC Tel: 250-881-0706 Contact: Duane Ensing

DRAWINGS - ARCHITECTURAL (DP)	
DP01	COVER SHEET
DP02	SURVEY & SITE PLAN
DP03	FLOOR PLAN - LEVEL 1 & 2
DP04	FLOOR PLAN - LEVEL 3 & ROOF PLAN
DP05	UNIT PLANS
DP06	UNIT PLANS
DP07	ELEVATIONS - EAST & SOUTH
DP08	ELEVATIONS - WEST & NORTH
DP09	BUILDING SECTIONS
DP10	RENDERINGS
DP11	SHADOW STUDY

DRAWINGS - CIVIL	
CS1	CONCEPTUAL SERVICING PLAN AND FRONTAGE

DRAWINGS - LANDSCAPE	
SKL01	LANDSCAPE LAYOUT

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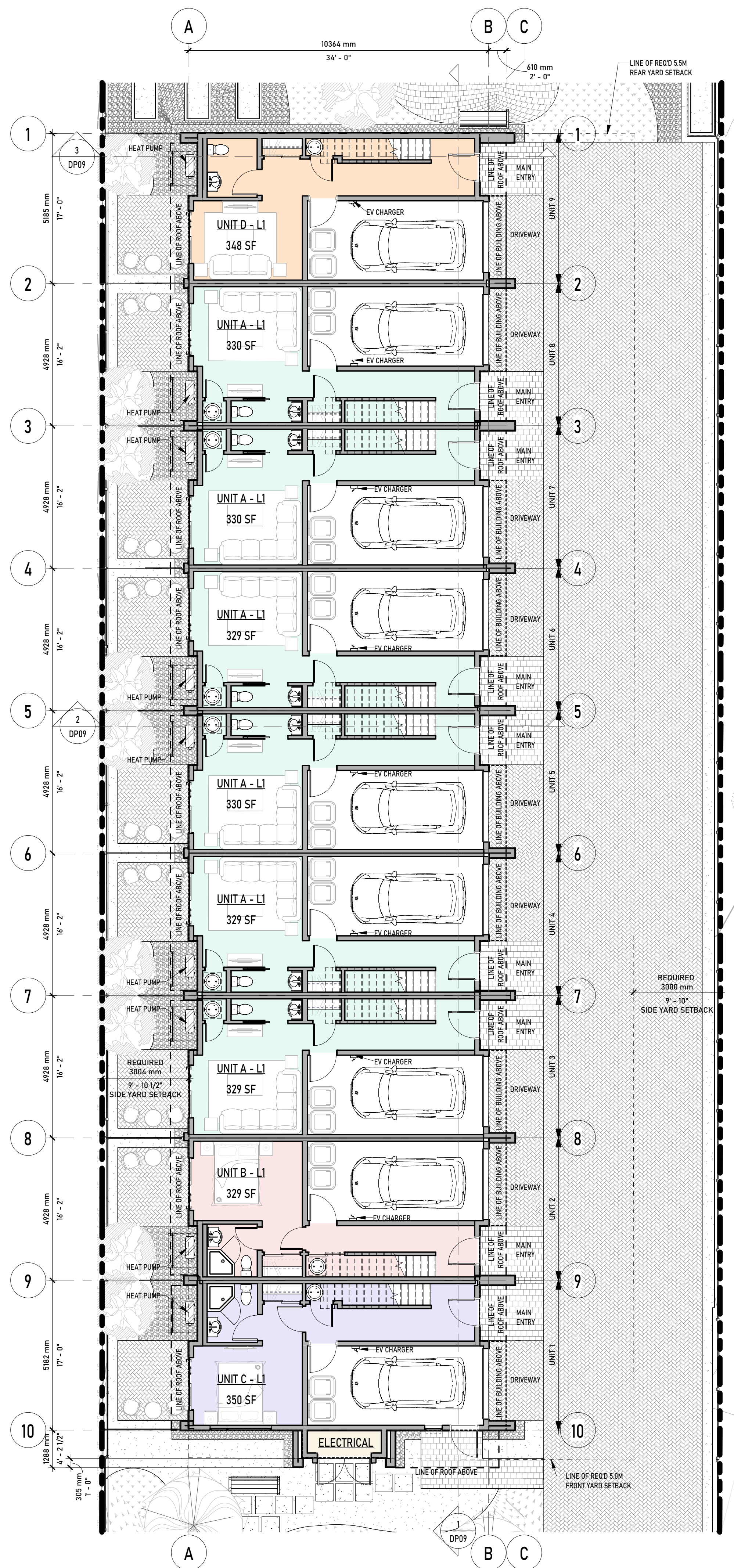
PROJECT NAME:
RESTHAVEN TOWNHOUSES

PROJECT ADDRESS:
10473 RESTHAVEN DRIVE, SIDNEY, BC V8L 3H6

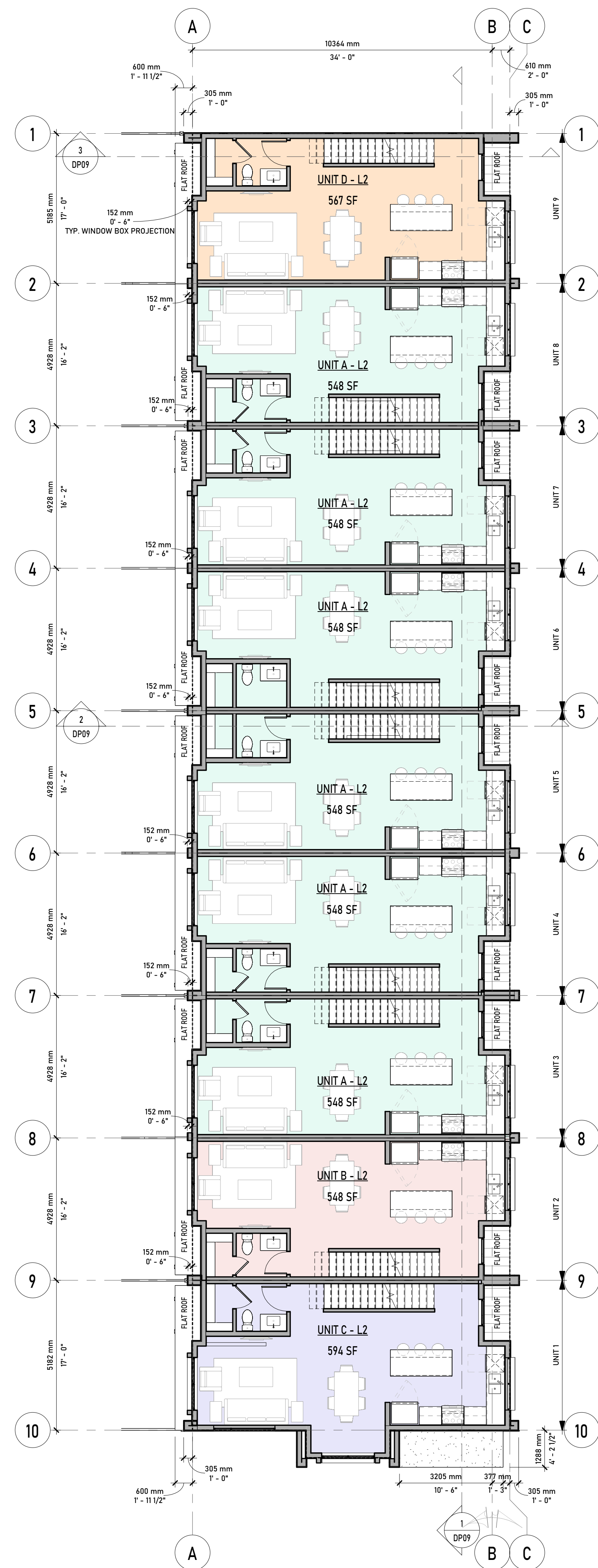
DRAWING TITLE:
COVER SHEET

PROJECT NO: 24027 DRAWN: JE
SCALE: AS NOTED REVIEWED: RP

DWG NO: DP01

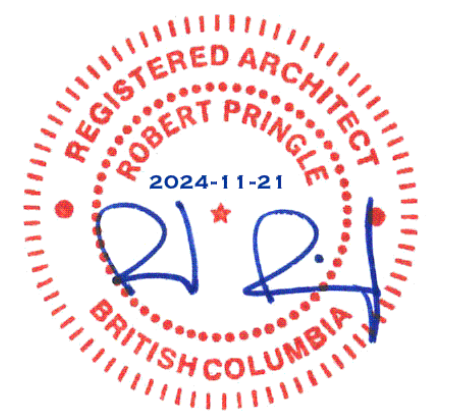


1 FIRST FLOOR PLAN
1/8" = 1'-0"

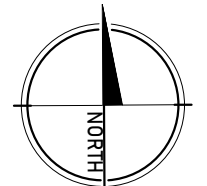


2 SECOND FLOOR PLAN
1/8" = 1'-0"

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PROJECT ADDRESS:
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3H6

DRAWING TITLE:
FLOOR PLAN - LEVEL 1 & 2

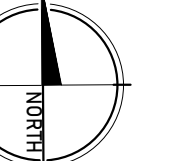
PROJECT NO:	24027	DRAWN:	JE
SCALE:	1/8" = 1'-0"	REVIEWED:	RP

DWG NO: **DP03**

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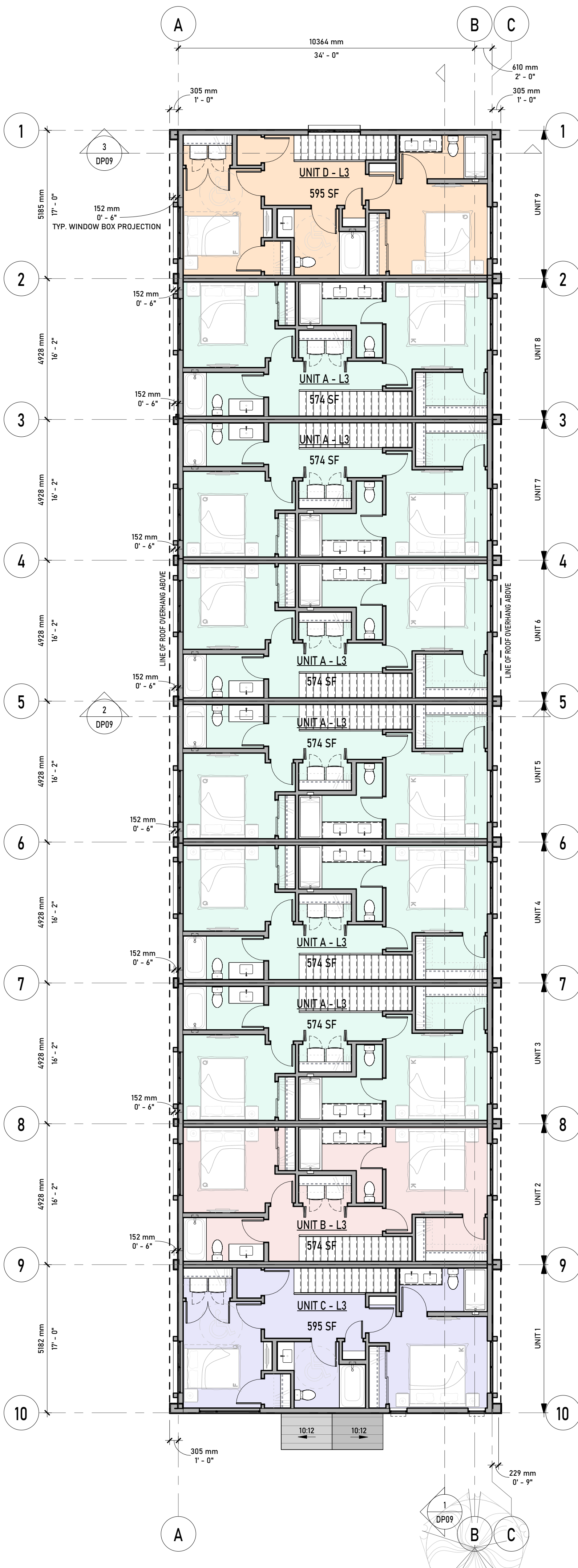
PROJECT ADDRESS:
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 3H6

DRAWING TITLE:
**FLOOR PLAN - LEVEL 3 &
 ROOF PLAN**

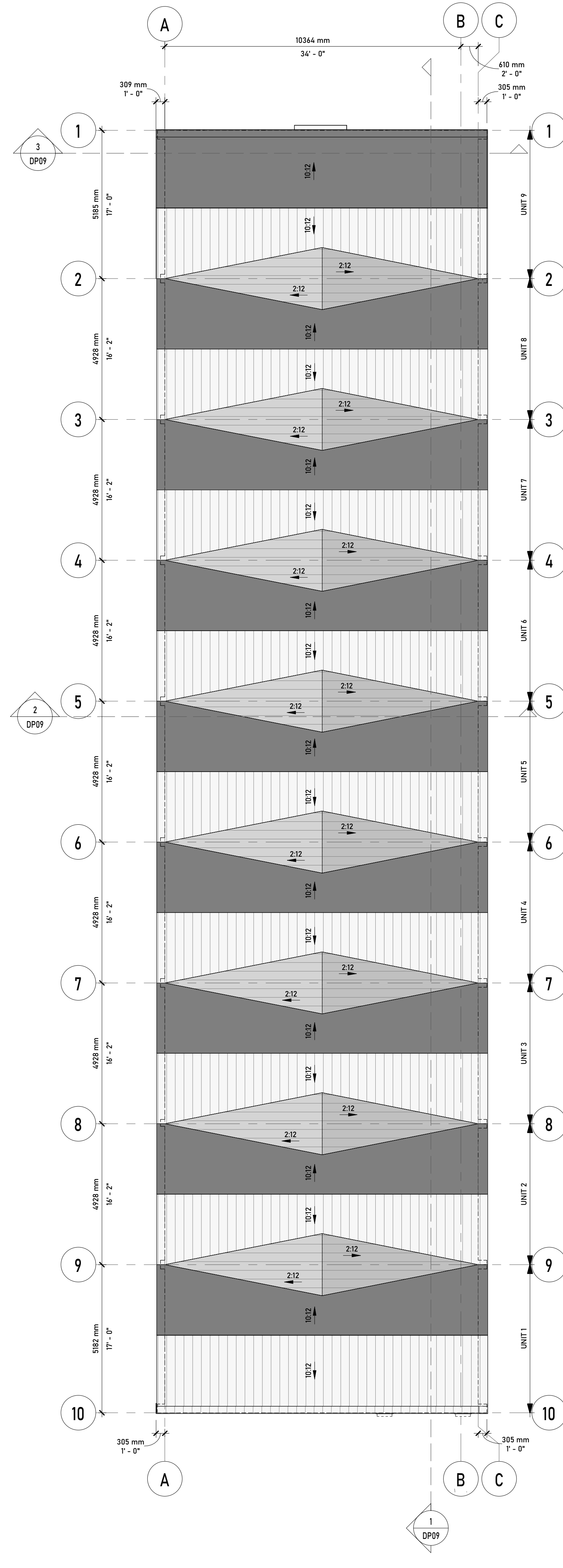
PROJECT NO: 24027 DRAWN: JE

SCALE: 1/8" = 1'-0" REVIEWED: RP

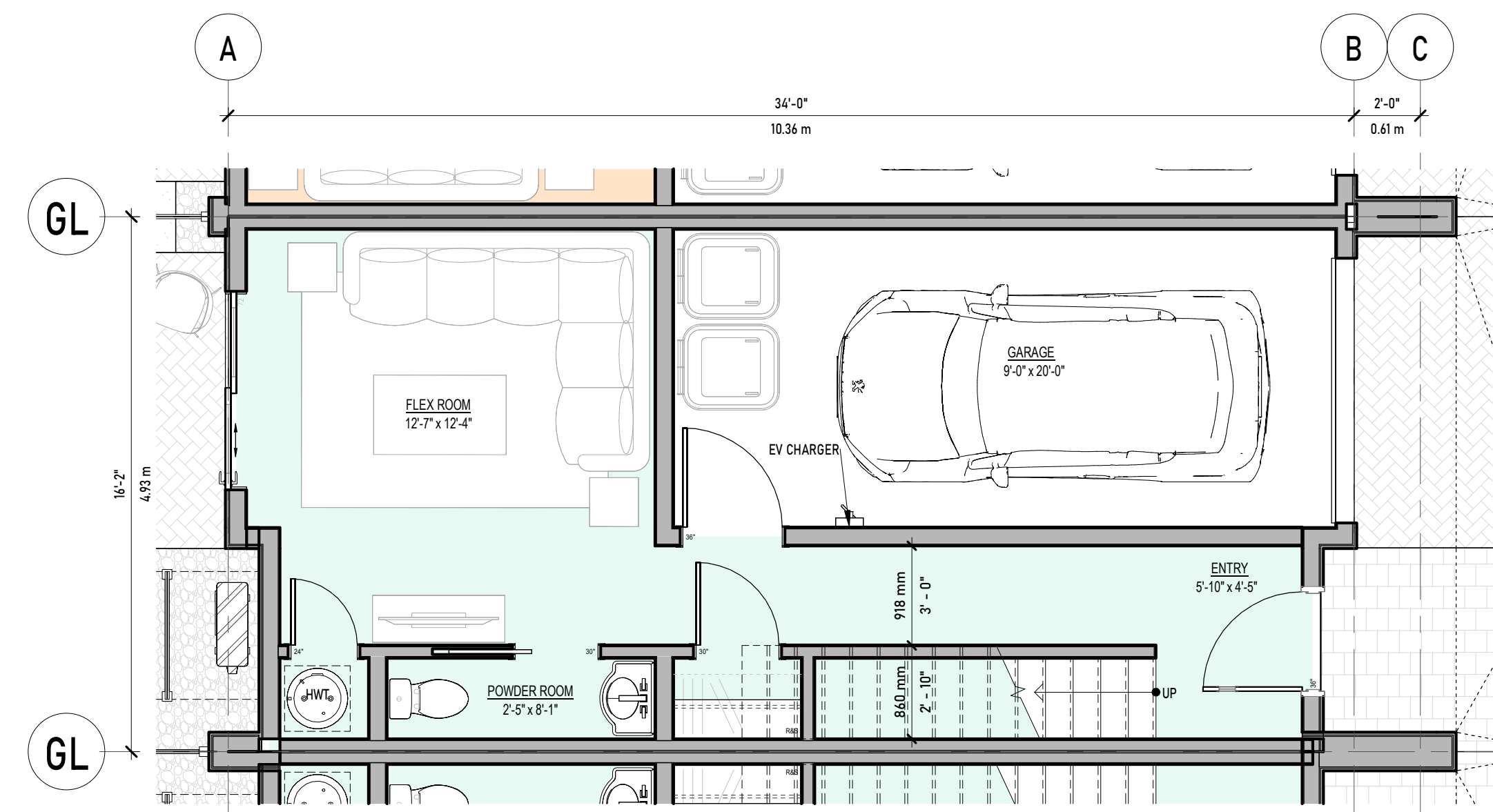
DWG NO: **DP04**



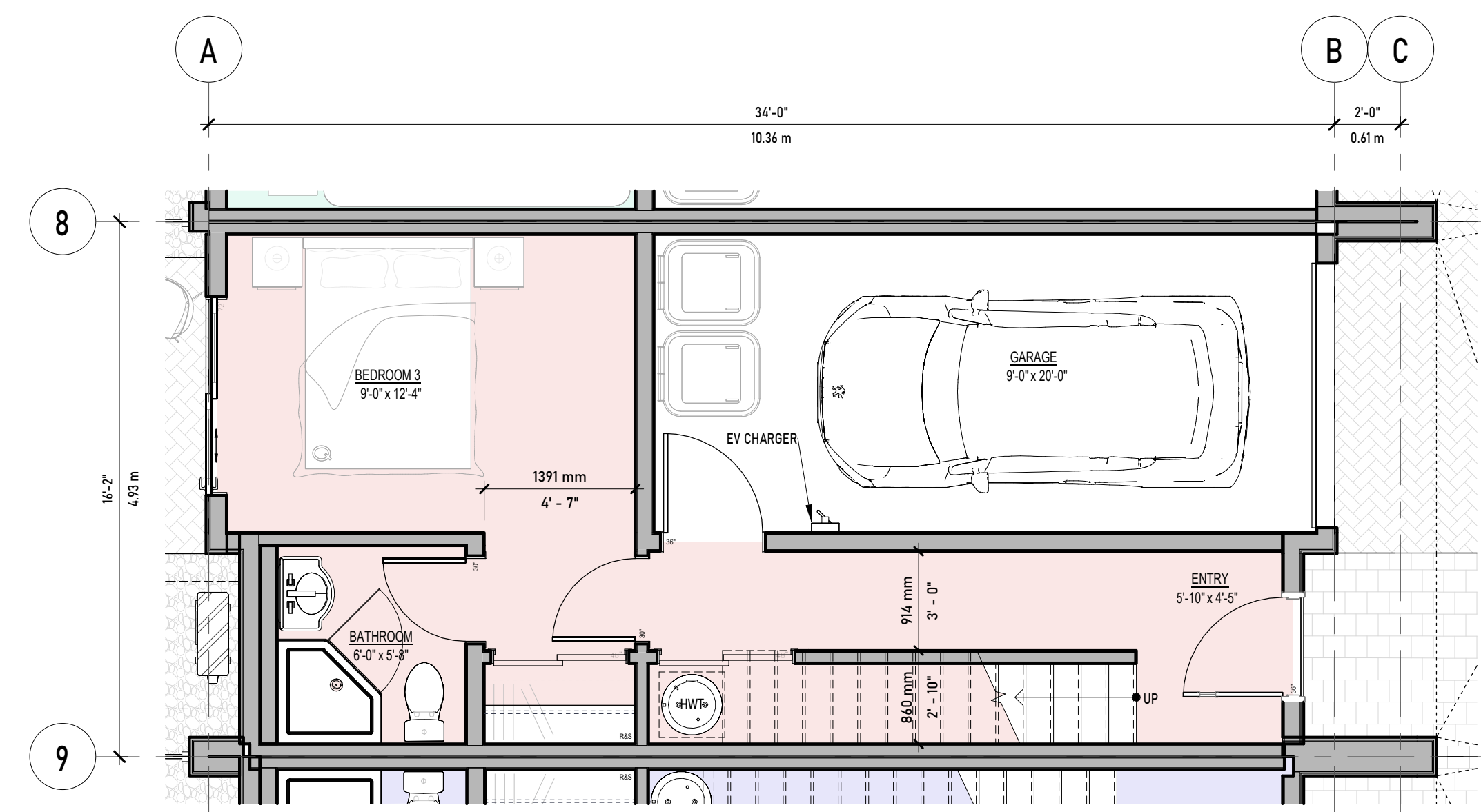
1 THIRD FLOOR PLAN
 1/8" = 1'-0"



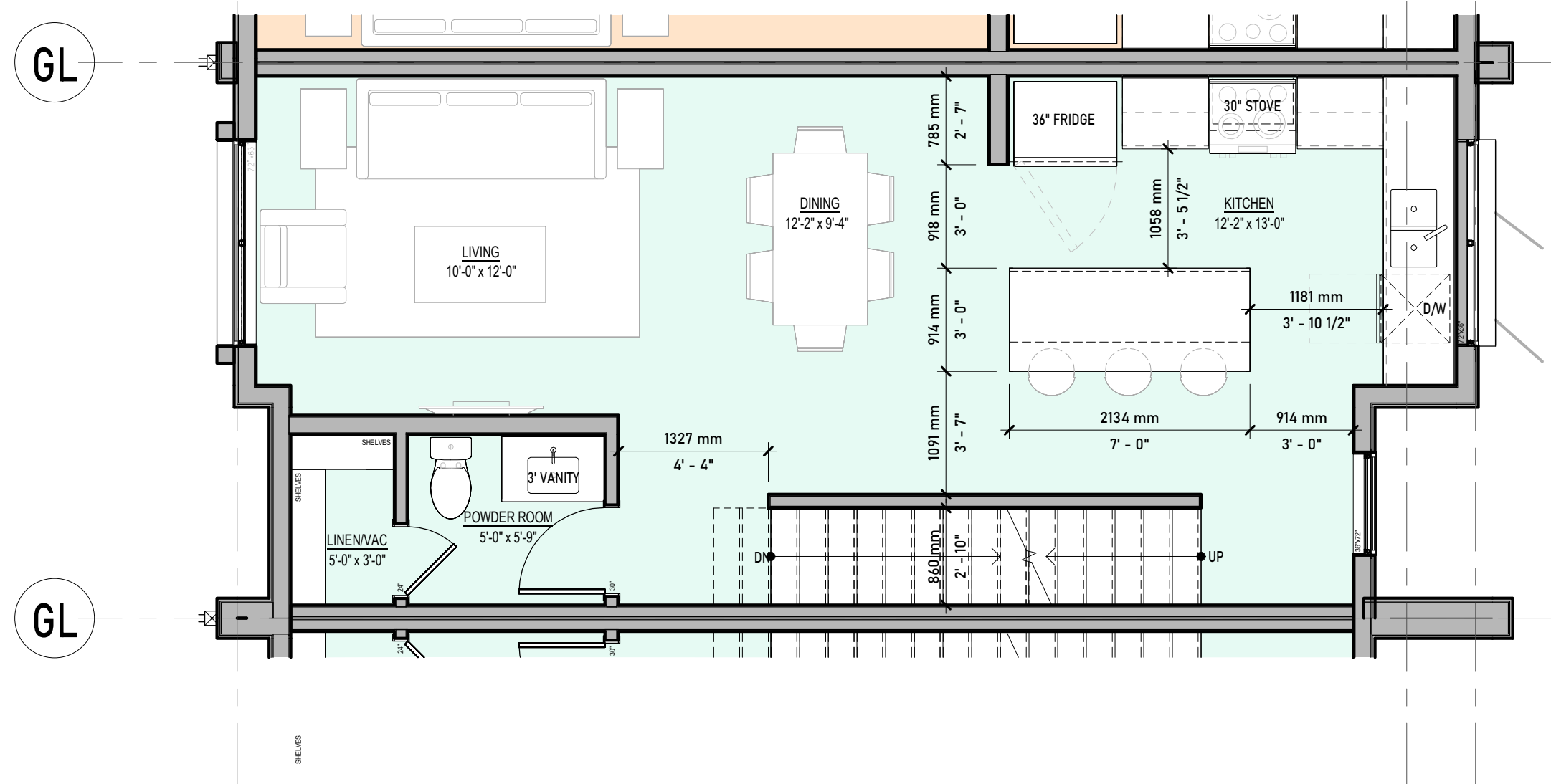
2 ROOF PLAN
 1/8" = 1'-0"



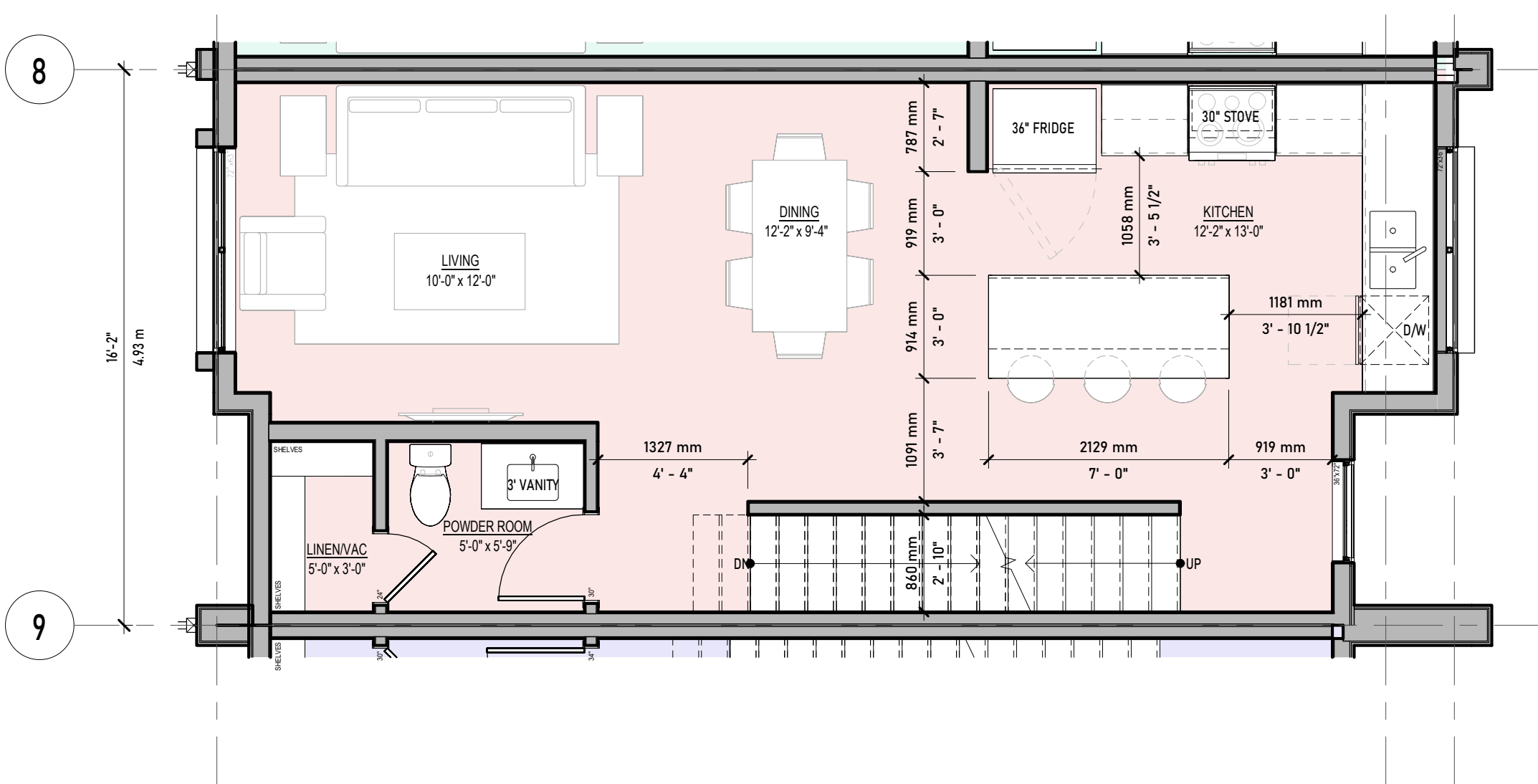
1 (DP) UNIT A - LEVEL 1 FLOOR PLAN
1/4" = 1'-0"



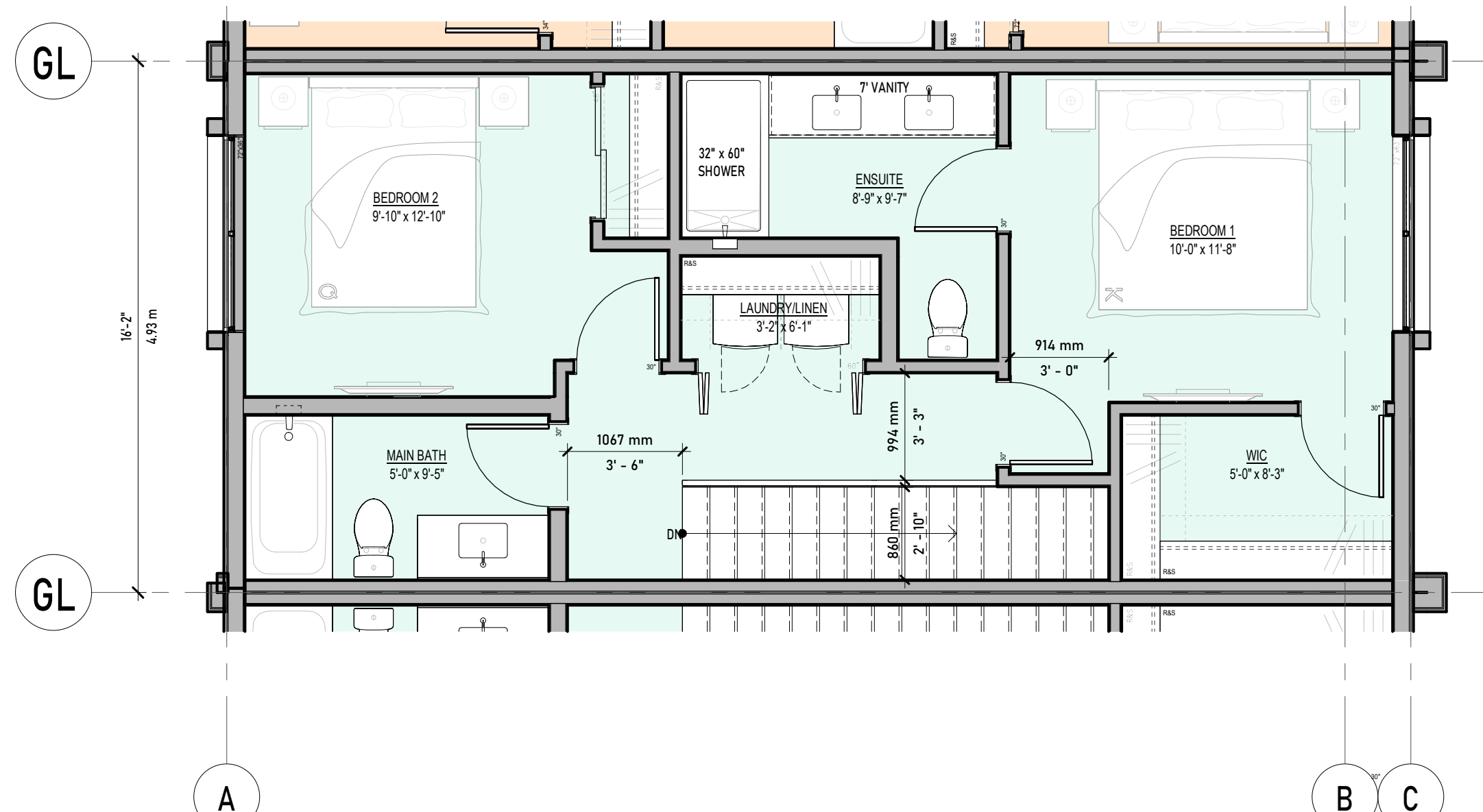
4 (DP) UNIT B - LEVEL 1 FLOOR PLAN
1/4" = 1'-0"



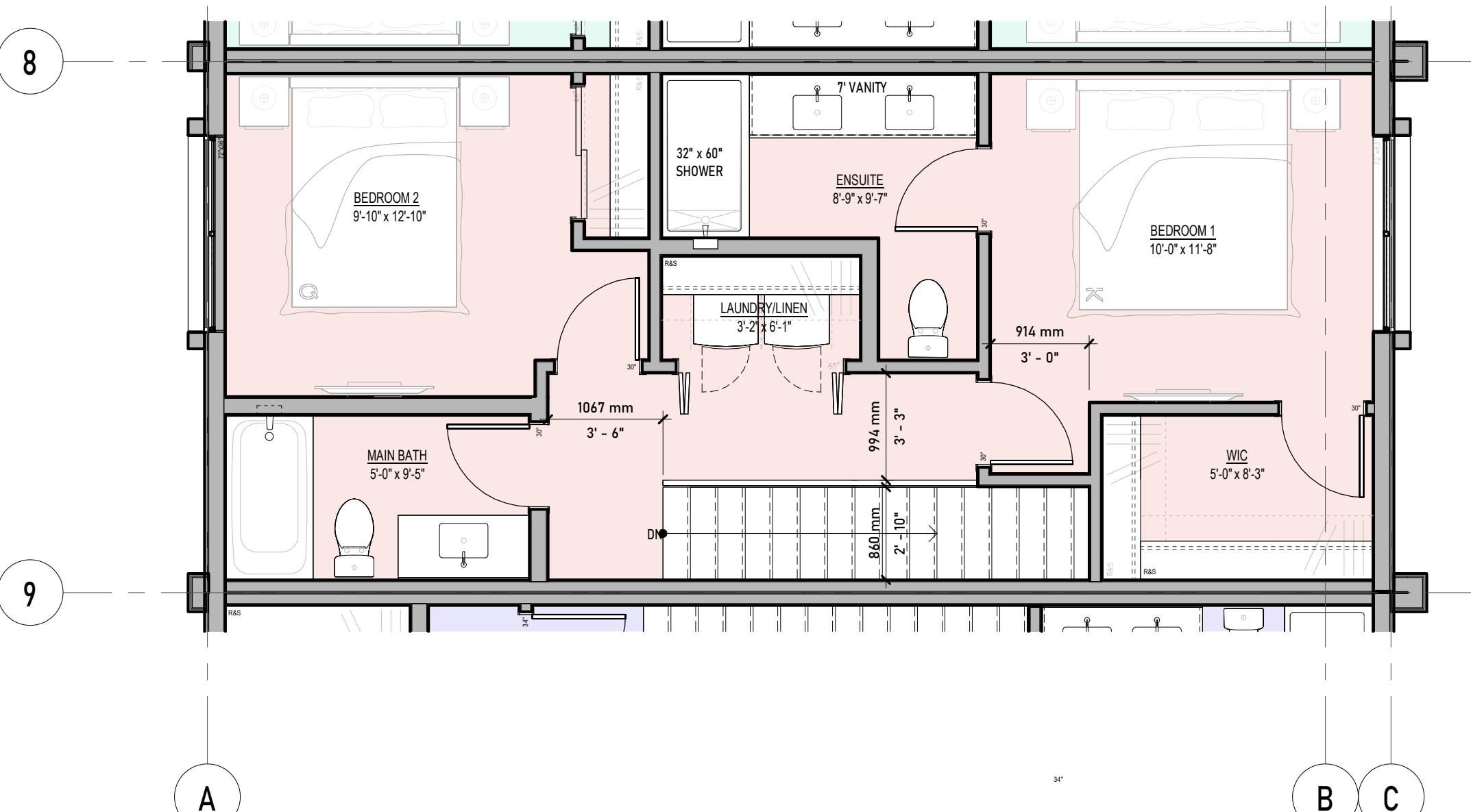
2 (DP) UNIT A - LEVEL 2 FLOOR PLAN
1/4" = 1'-0"



5 (DP) UNIT B - LEVEL 2 FLOOR PLAN
1/4" = 1'-0"

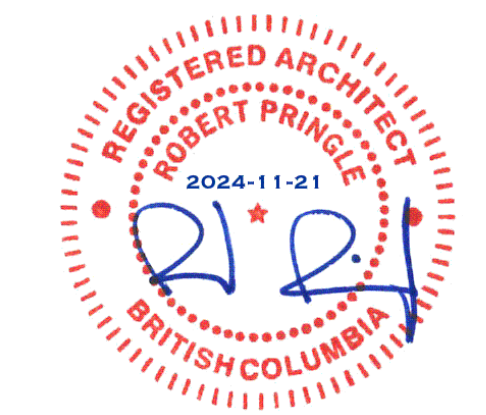


3 (DP) UNIT A - LEVEL 3 FLOOR PLAN
1/4" = 1'-0"

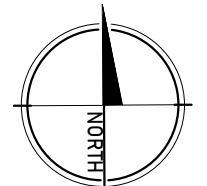


6 (DP) UNIT B - LEVEL 3 FLOOR PLAN
1/4" = 1'-0"

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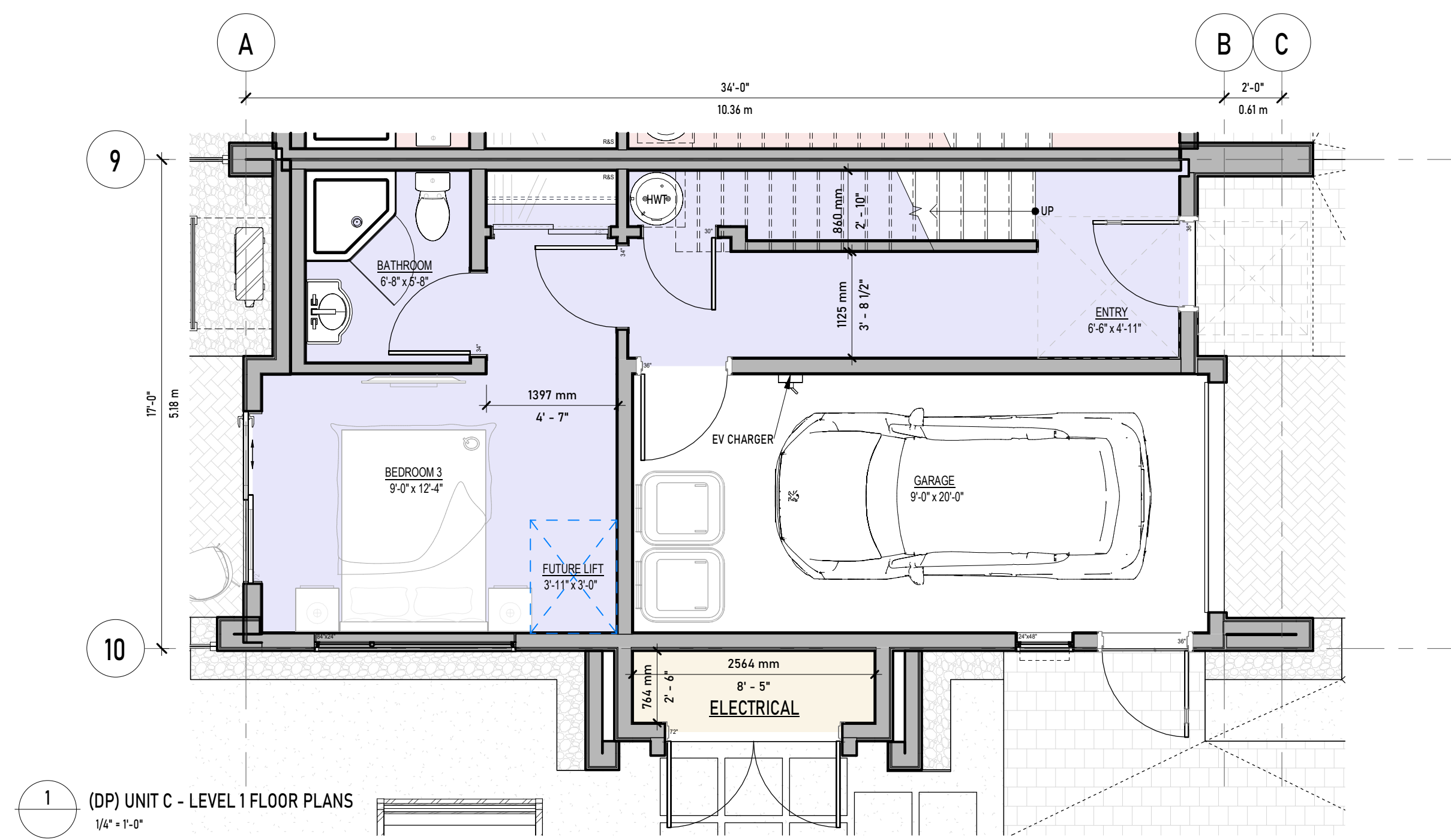
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3H6

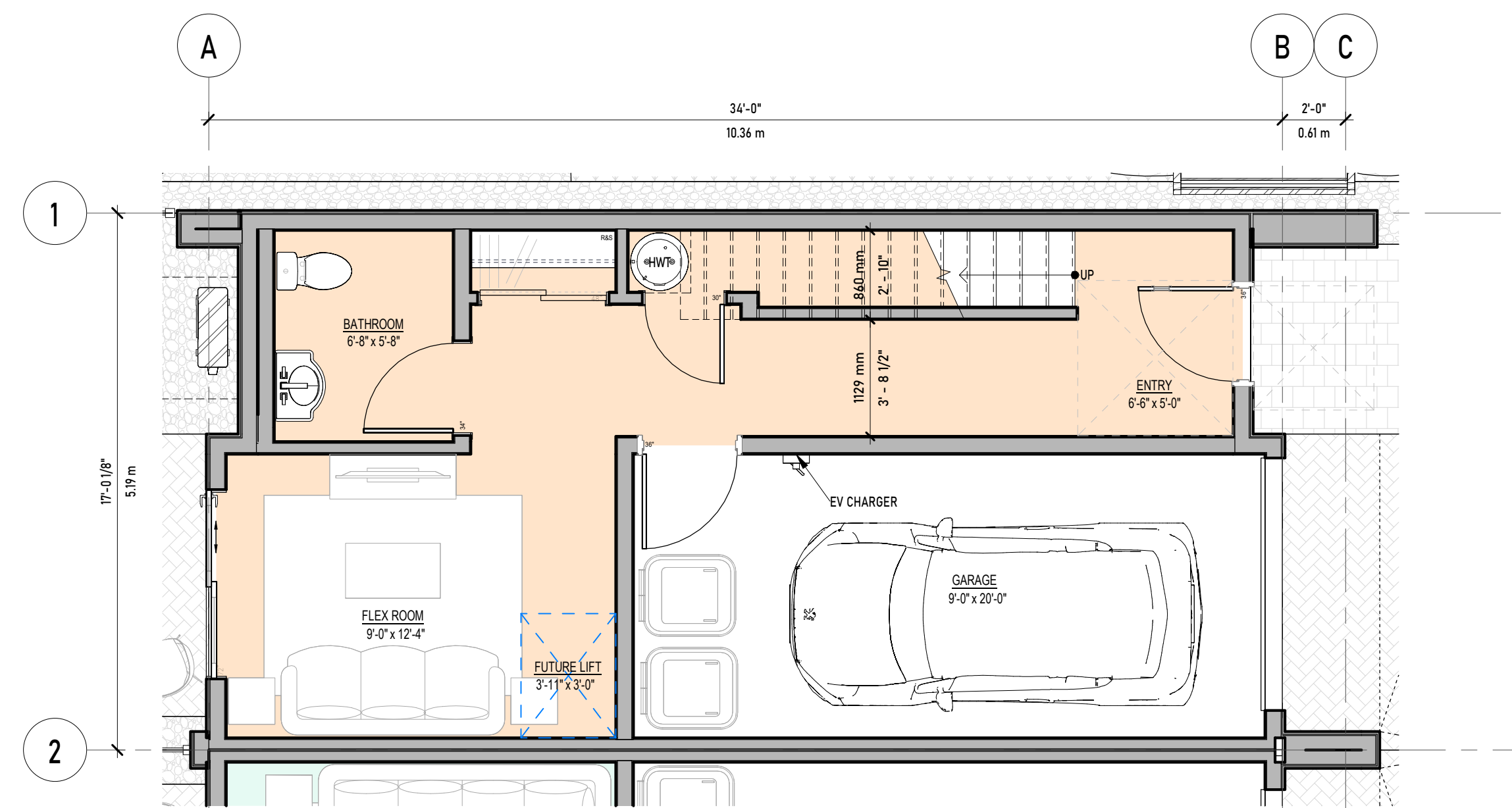
DRAWING TITLE:
UNIT PLANS

PROJECT NO:	24027	DRAWN:	JE
SCALE:	1/4" = 1'-0"	REVIEWED:	RP

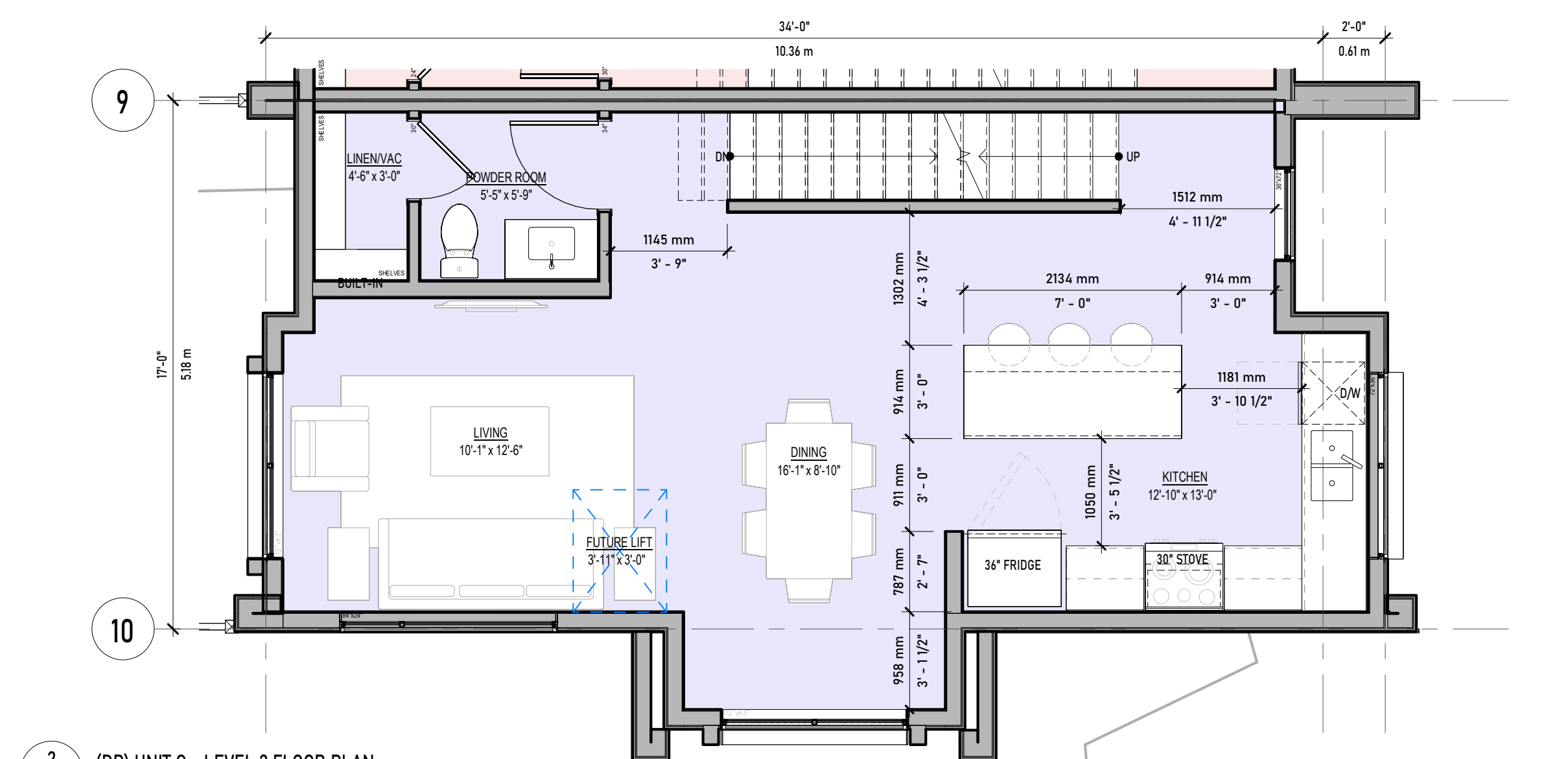
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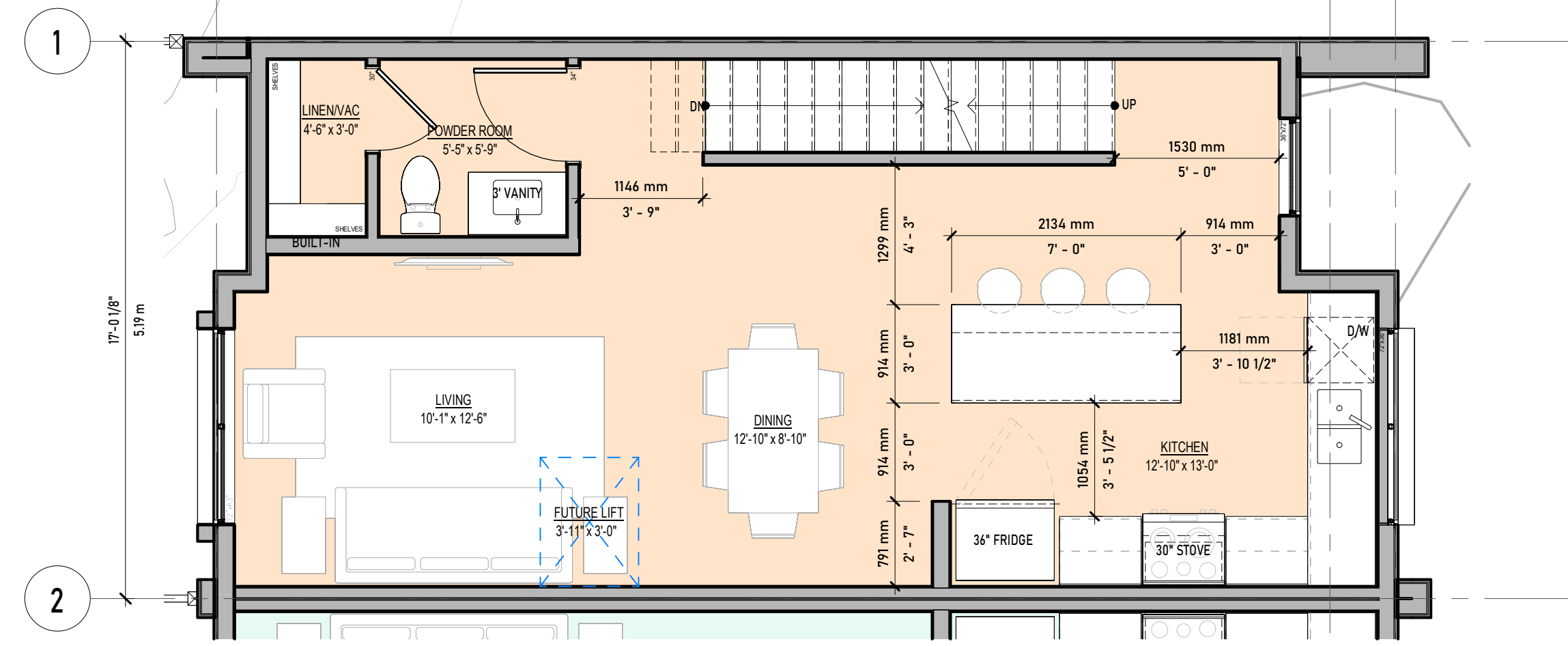
1 (DP) UNIT C - LEVEL 1 FLOOR PLANS
1/4" = 1'-0"



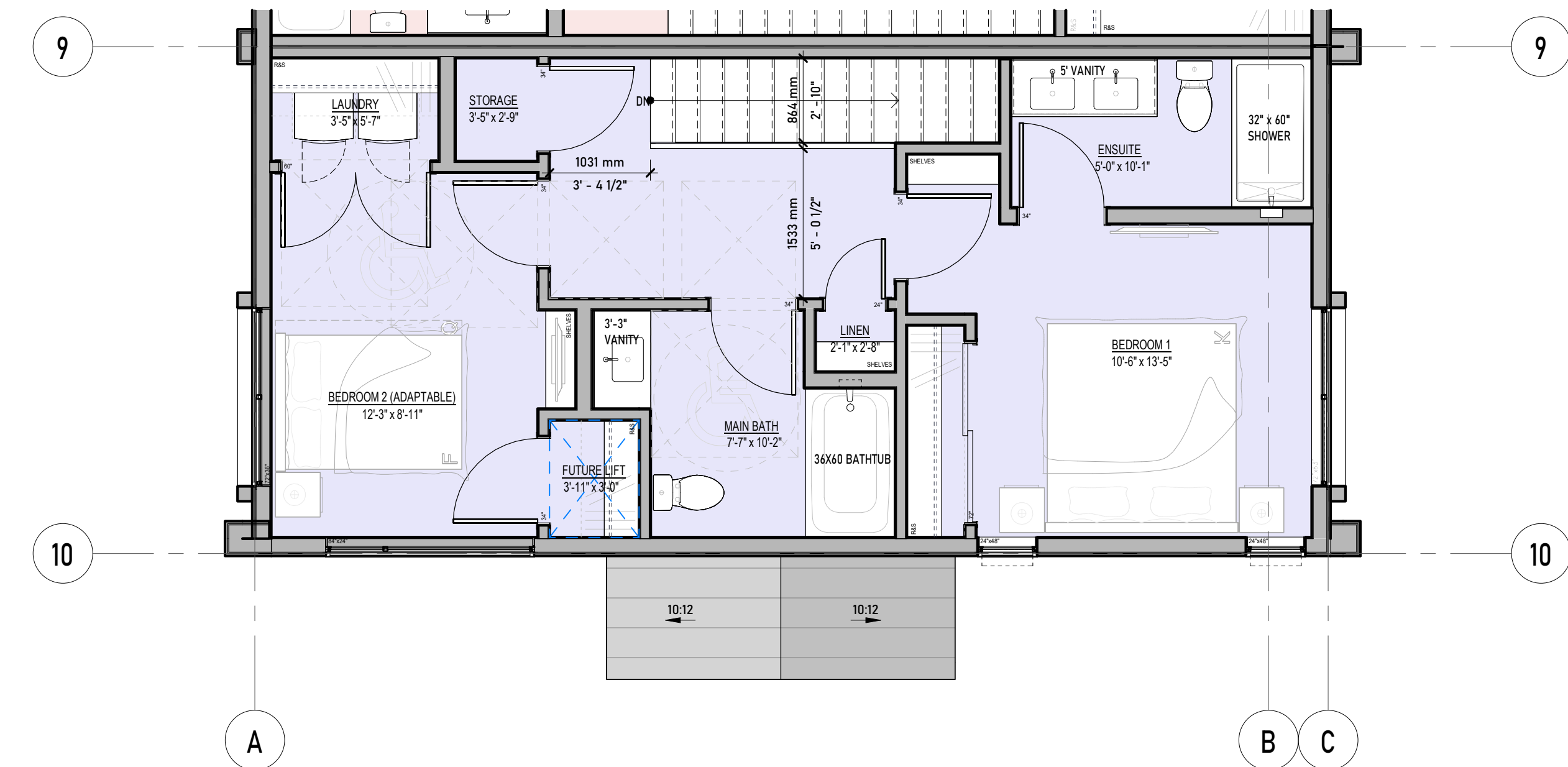
4 (DP) UNIT D - LEVEL 1 FLOOR PLAN
1/4" = 1'-0"



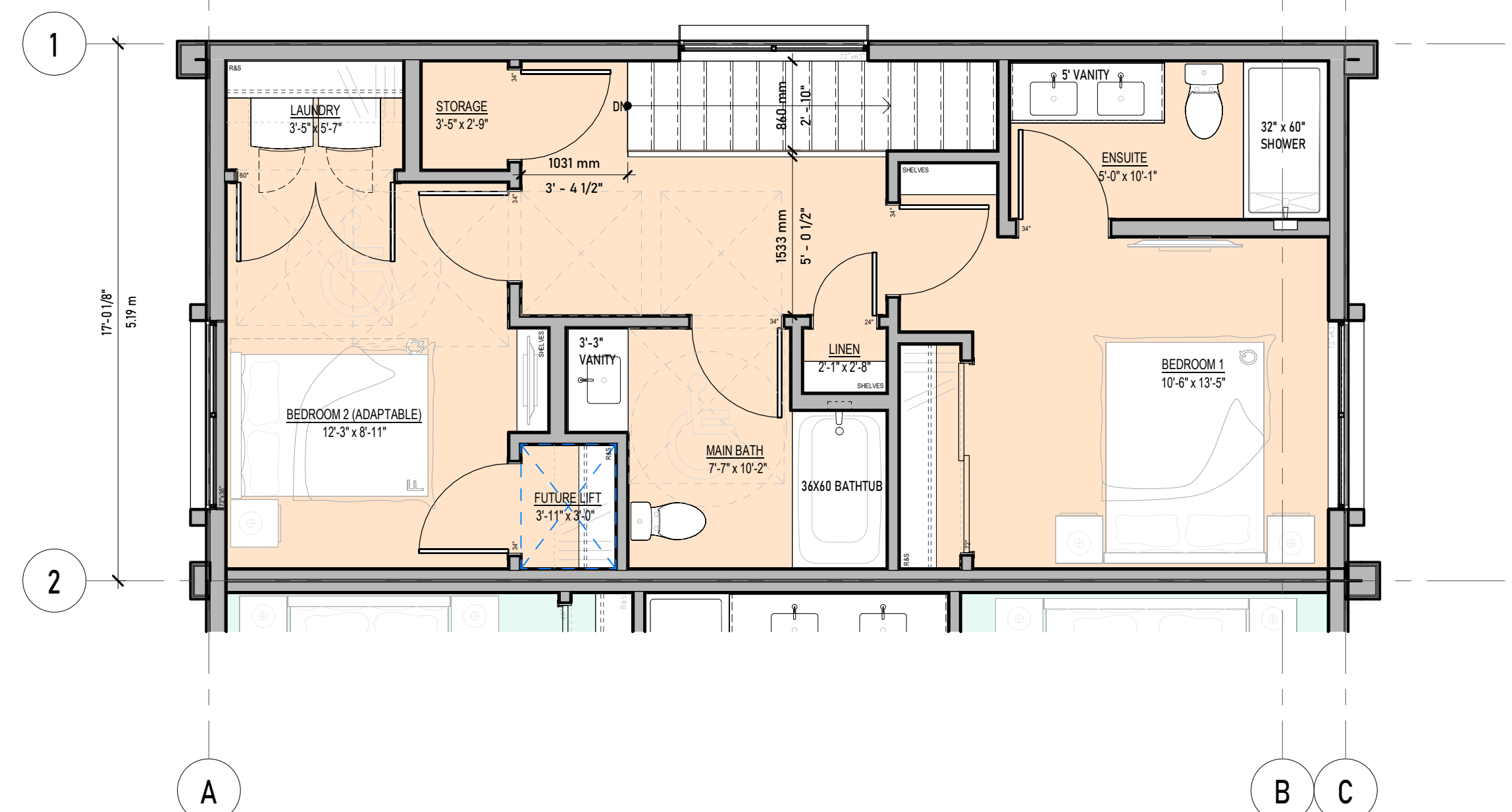
2 (DP) UNIT C - LEVEL 2 FLOOR PLAN
1/4" = 1'-0"



5 (DP) UNIT D - LEVEL 2 FLOOR PLAN
1/4" = 1'-0"



3 (DP) UNIT C - LEVEL 3 FLOOR PLAN
1/4" = 1'-0"

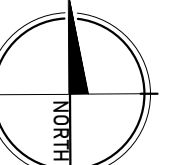


6 (DP) UNIT D - LEVEL 3 FLOOR PLAN
1/4" = 1'-0"

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PROJECT ADDRESS:
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3H6



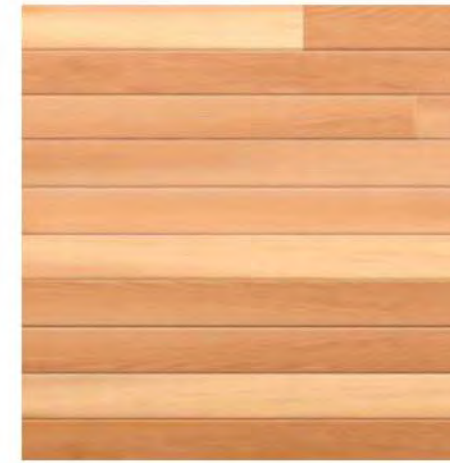




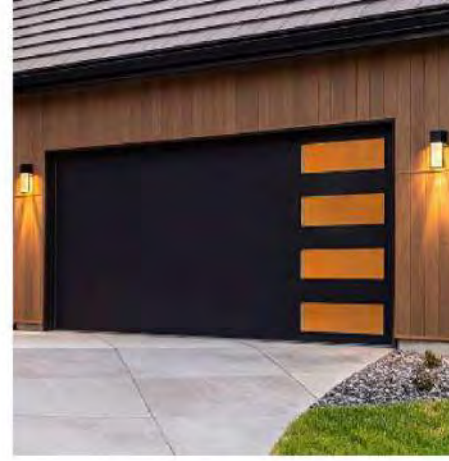





DRAWING TITLE:
UNIT PLANS

PROJECT NO: 24027 DRAWN: JE
SCALE: 1/4" = 1'-0" REVIEWED: RP

DWG NO: DP06



1 (DP) EAST (FRONT) ELEVATION
1/8" = 1'-0"

 METAL ROOFING	 FIBRE CEMENT HORIZONTAL LAP SIDING	 WOOD LOOK SOFFIT	 FIBRE CEMENT TRIM BOARD	 FIBRE CEMENT VERTICAL SIDING	 ACCENT PAINT 1
 SOFFIT MOUNTED DOWN LIGHTS 1 OVER ENTRY DOOR 2 OVER GARAGE DOOR 1 OVER PATIO DOOR	 GARAGE DOOR	 VINYL WINDOW - CHARCOAL FRAME	 PREFINISHED METAL FLASHING	 WOOD FENCE	 ACCENT PAINT 2
					 ACCENT PAINT 3

MATERIAL LEGEND	
1	METAL ROOF
2	FIBRE CEMENT HORIZONTAL LAP SIDING
3	WOOD LOOK SOFFIT
4	FIBRE CEMENT VERTICAL SIDING - ACCENT COLOUR 1
5	FIBRE CEMENT VERTICAL SIDING - ACCENT COLOUR 2
6	FIBRE CEMENT VERTICAL SIDING - ACCENT COLOUR 3
7	FIBRE CEMENT TRIM BOARD
8	GARAGE DOOR
9	VINYL WINDOW - CHARCOAL FRAME
10	PREFINISHED METAL FLASHING
11	WOOD FENCE

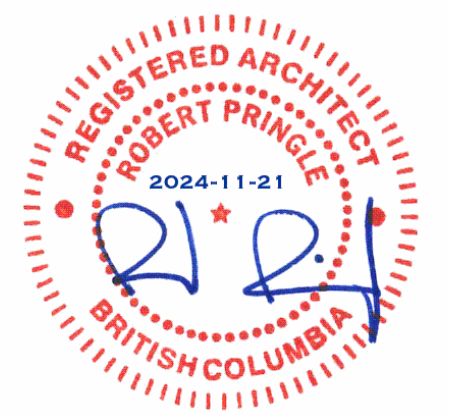


2 (DP) SOUTH (RESTHAVEN DR) ELEVATION
1/8" = 1'-0"

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PROJECT ADDRESS:
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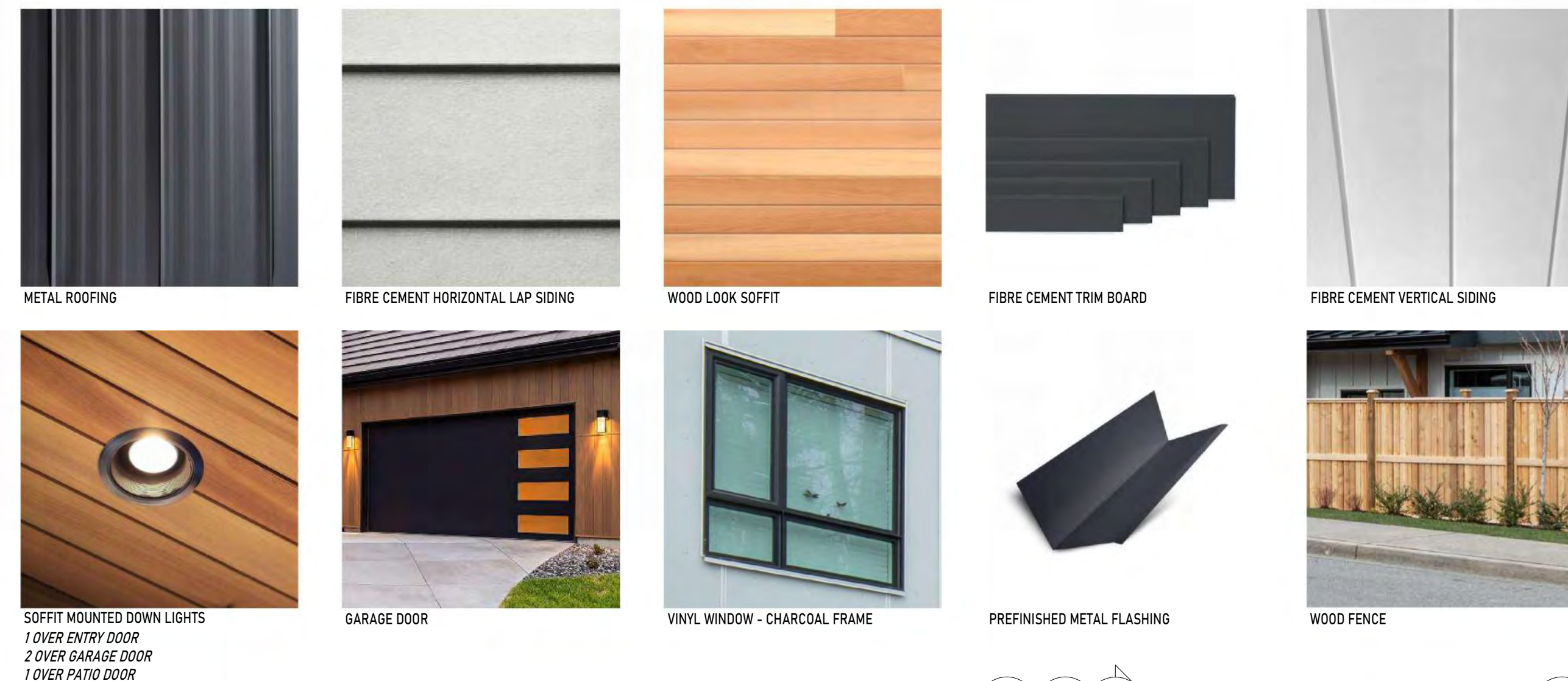
DRAWING TITLE:
ELEVATIONS - EAST & SOUTH

PROJECT NO: 24027 DRAWN: JE
SCALE: 1/8" = 1'-0" REVIEWED: RP

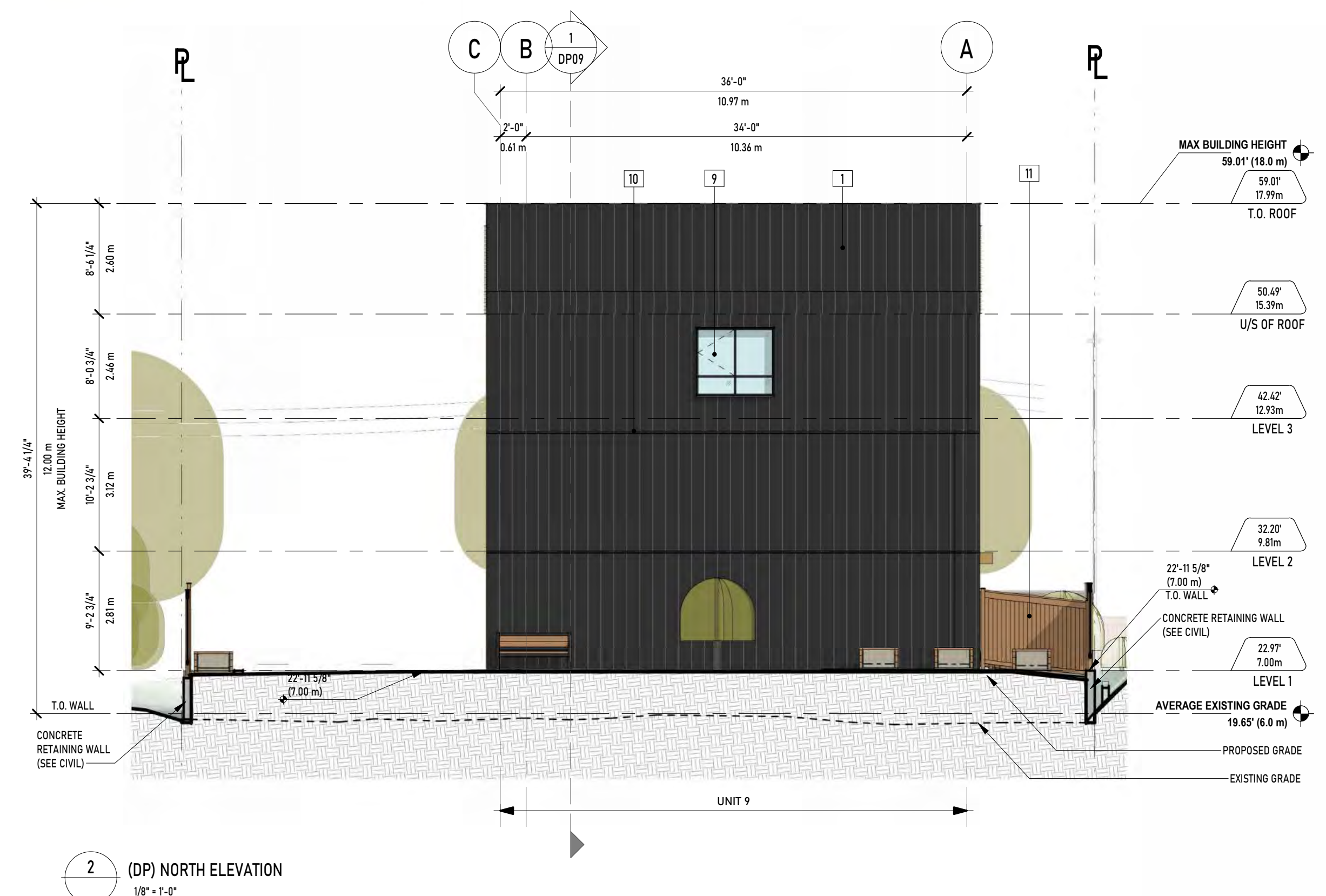
DWG NO: DP07



1 (DP) WEST (REAR) ELEVATION
1/8" = 1'-0"



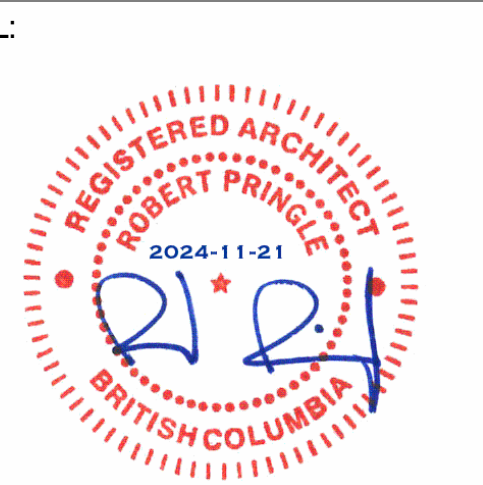
MATERIAL LEGEND	
1	METAL ROOF
2	FIBRE CEMENT HORIZONTAL LAP SIDING
3	WOOD LOOK SOFFIT
4	FIBRE CEMENT VERTICAL SIDING - ACCENT COLOUR 1
5	FIBRE CEMENT VERTICAL SIDING - ACCENT COLOUR 2
6	FIBRE CEMENT VERTICAL SIDING - ACCENT COLOUR 3
7	FIBRE CEMENT TRIM BOARD
8	GARAGE DOOR
9	VINYL WINDOW - CHARCOAL FRAME
10	PREFINISHED METAL FLASHING
11	WOOD FENCE



2 (DP) NORTH ELEVATION
1/8" = 1'-0"

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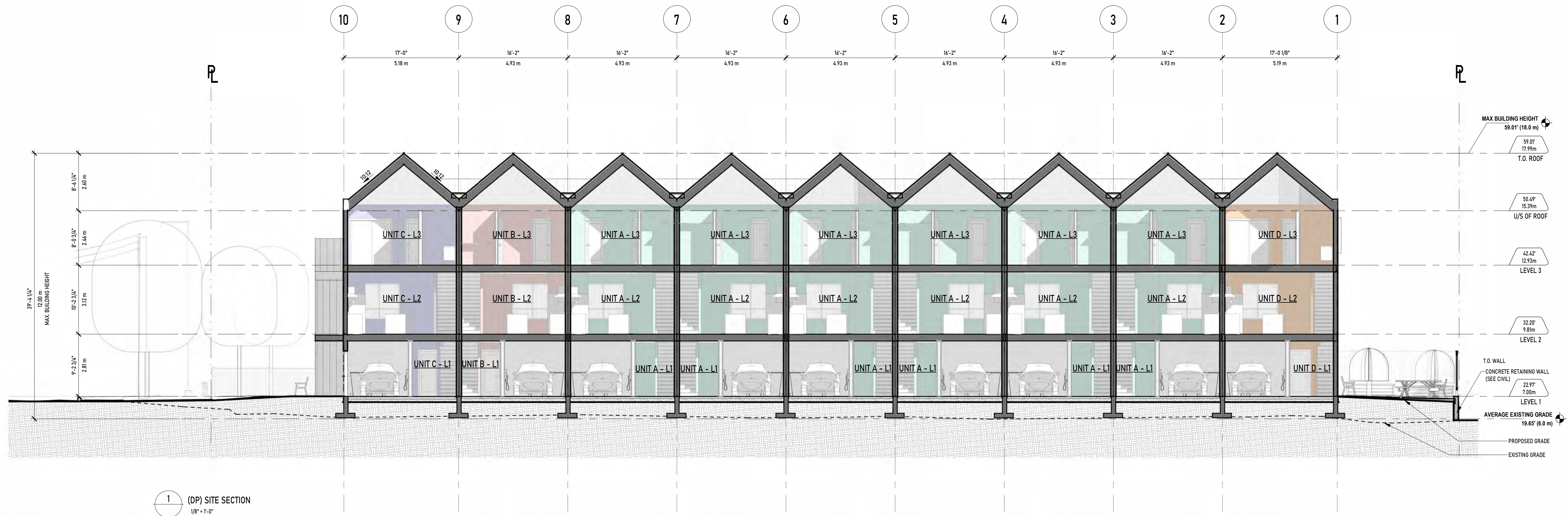
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DRAWING TITLE:
ELEVATIONS - WEST &
NORTH

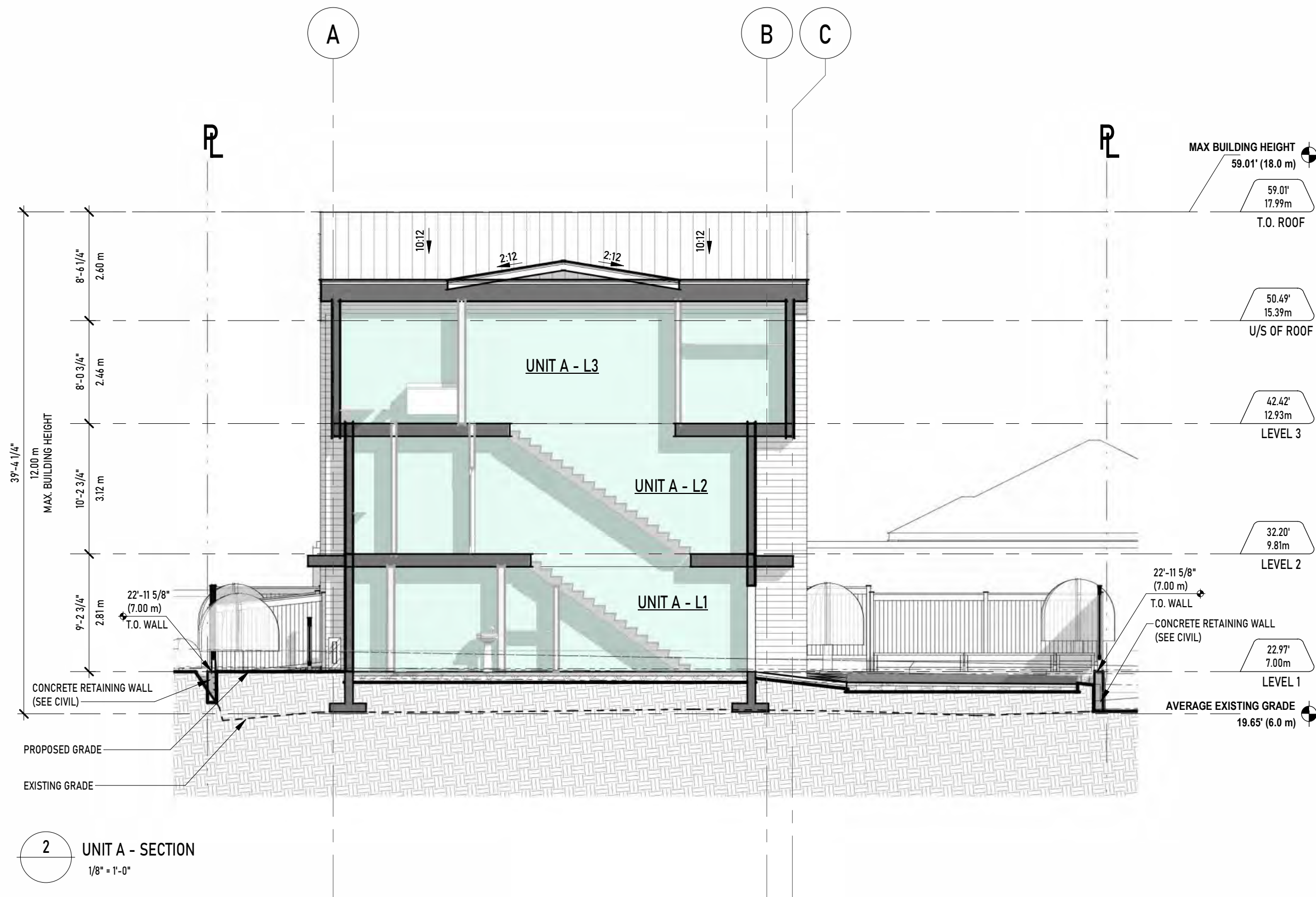
PROJECT NO: 24027 DRAWN: JE

SCALE: 1/8" = 1'-0" REVIEWED: RP

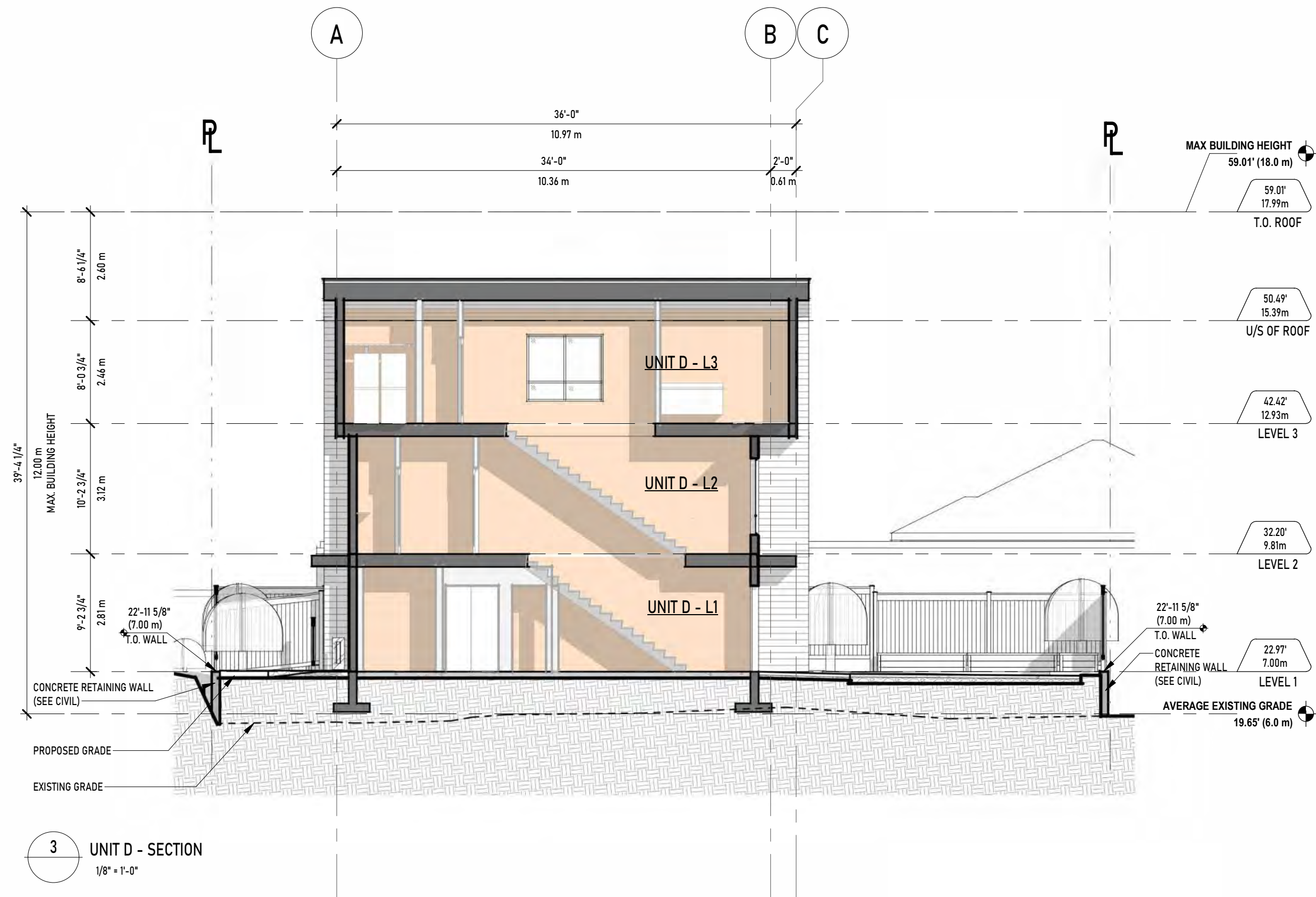
DWG NO: DP08



1 (DP) SITE SECTION
1/8" = 1'-0"

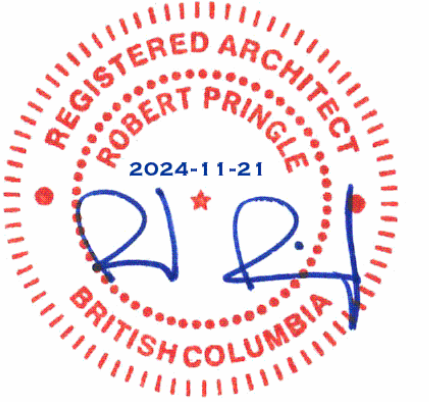


2 UNIT A - SECTION
1/8" = 1'-0"



3 UNIT D - SECTION
1/8" = 1'-0"

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3H6

DRAWING TITLE:
BUILDING SECTIONS

PROJECT NO: 24027 DRAWN: JE

SCALE: 1/8" = 1'-0" REVIEWED: RP

DWG NO: DP09



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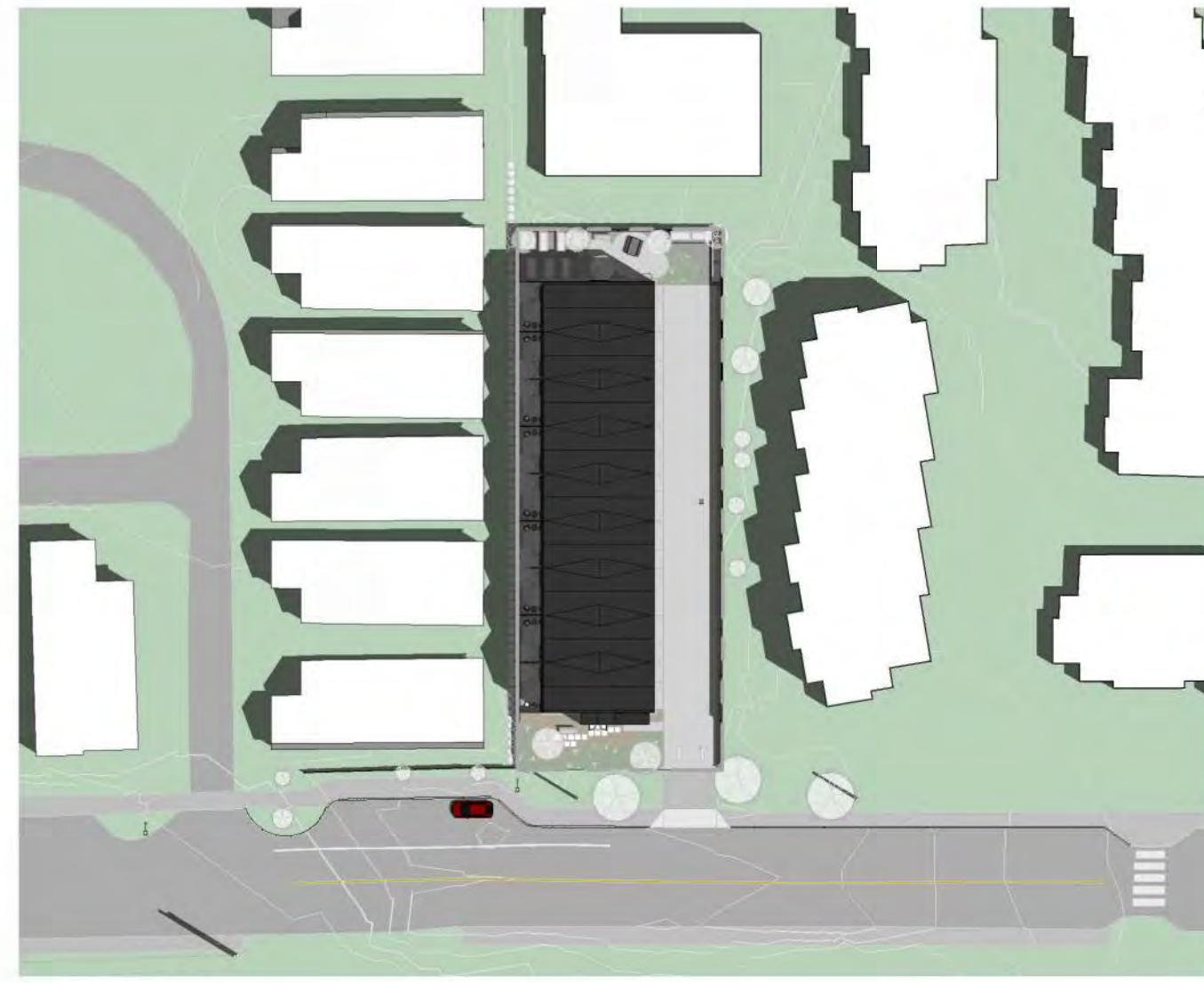
PROJECT ADDRESS:
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 3H6

DRAWING TITLE:
 RENDERINGS

PROJECT NO:	24027	DRAWN:	JE
SCALE:	N.T.S.	REVIEWED:	RP

DWG NO: **DP10**

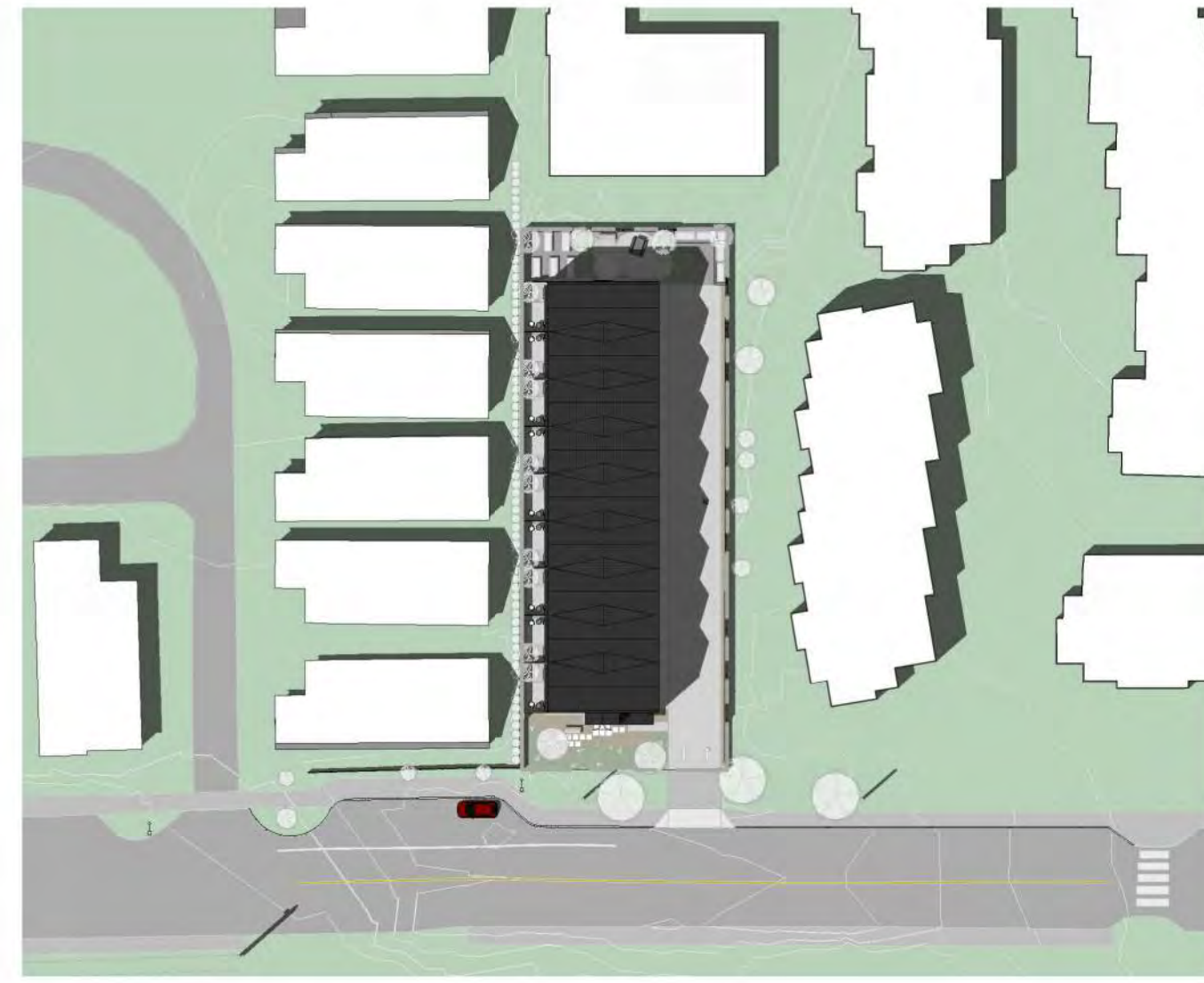
SUMMER SOLSTICE



1 SHADOW STUDY - SUMMER SOLSTICE - 10AM
1:700



2 SHADOW STUDY - SUMMER SOLSTICE - 12PM
1:700



3 SHADOW STUDY - SUMMER SOLSTICE - 2PM
1:700



4 SHADOW STUDY - SUMMER SOLSTICE - 4PM
1:700

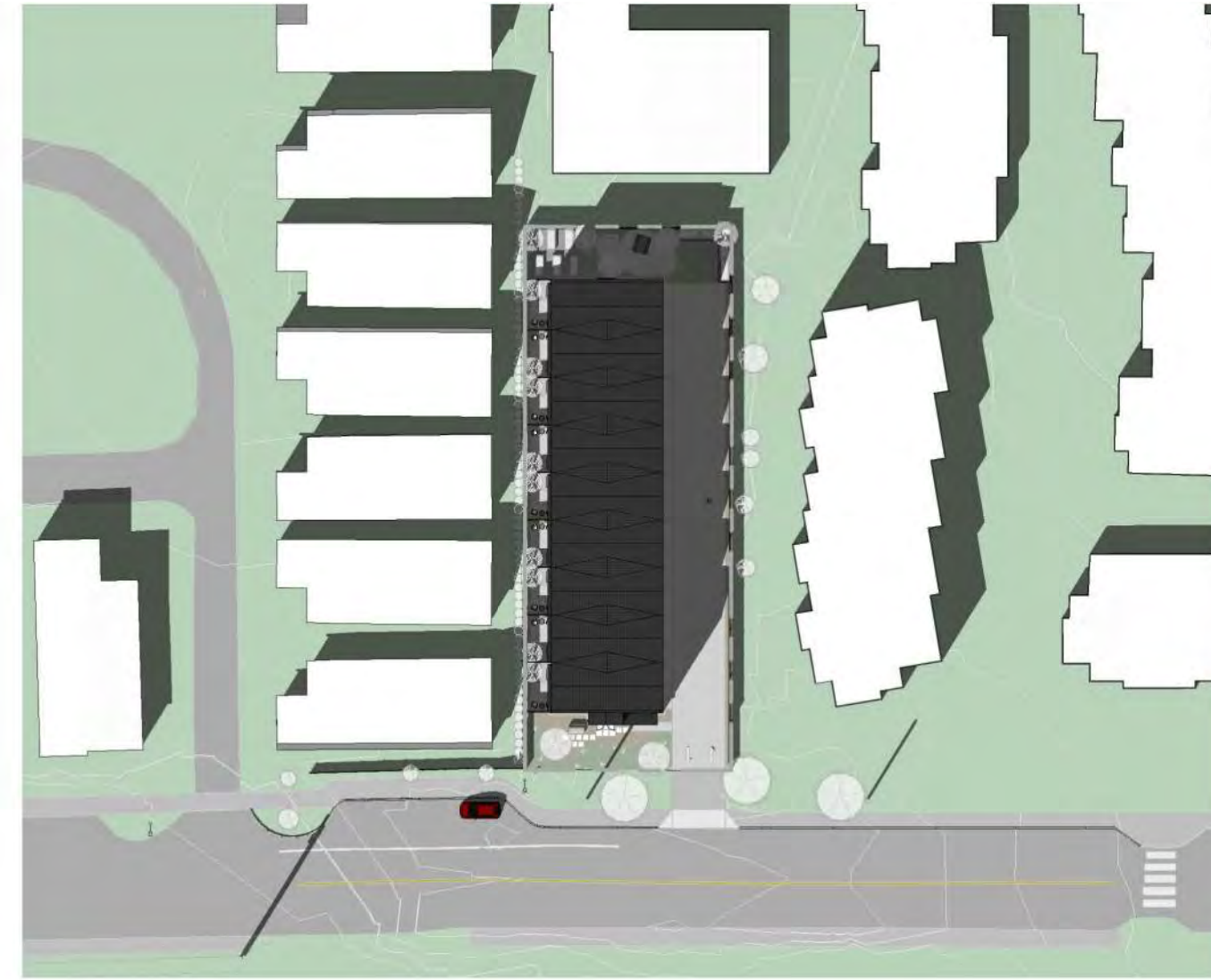
FALL / SPRING EQUINOX



5 SHADOW STUDY - FALL / SPRING EQUINOX - 10AM
1:700



6 SHADOW STUDY - FALL / SPRING EQUINOX - 12PM
1:700



7 SHADOW STUDY - FALL / SPRING EQUINOX - 2PM
1:700



8 SHADOW STUDY - FALL / SPRING EQUINOX - 4PM
1:700

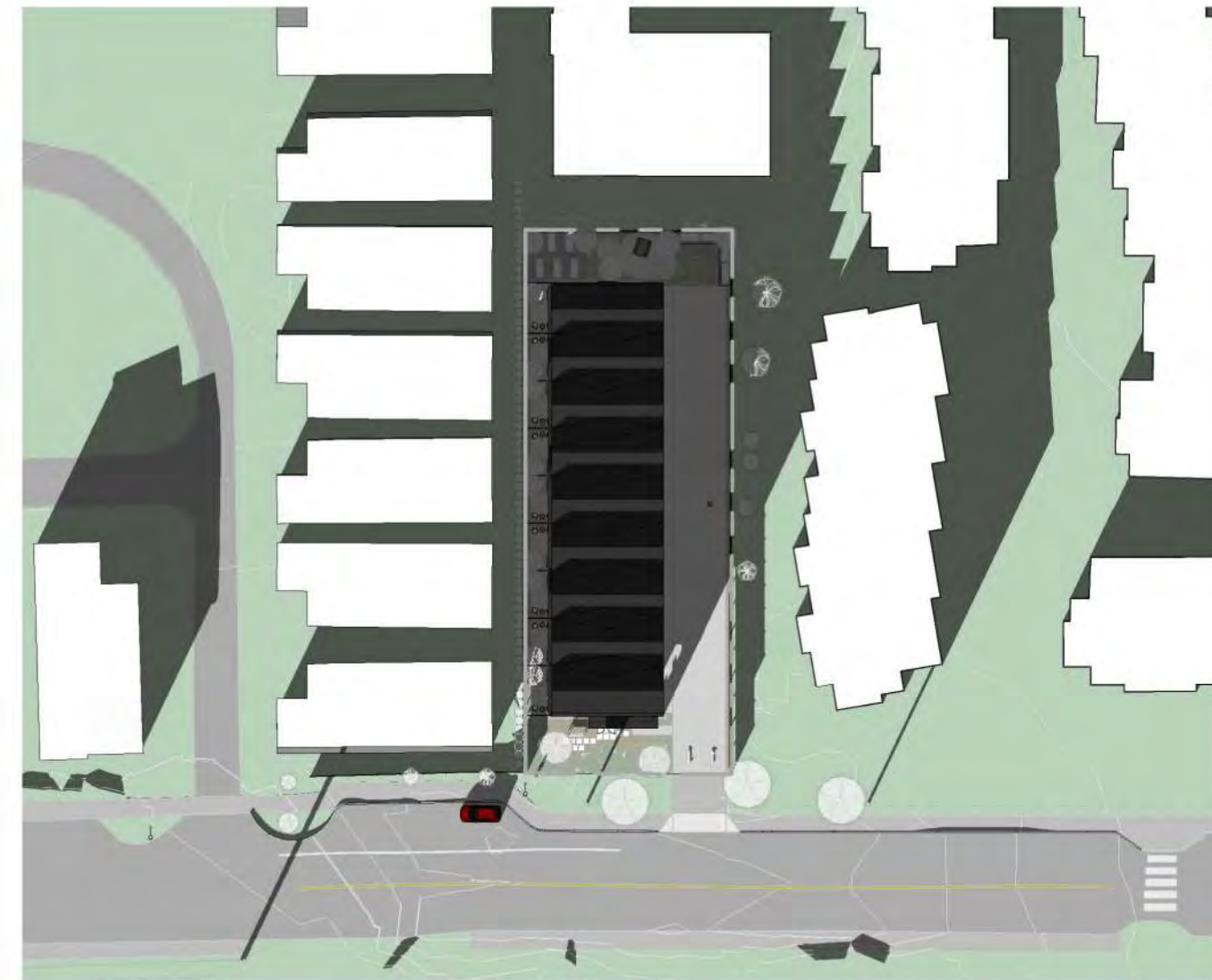
WINTER SOLSTICE



9 SHADOW STUDY - WINTER SOLSTICE - 10AM
1:700



10 SHADOW STUDY - WINTER SOLSTICE - 12PM
1:700



11 SHADOW STUDY - WINTER SOLSTICE - 2PM
1:700

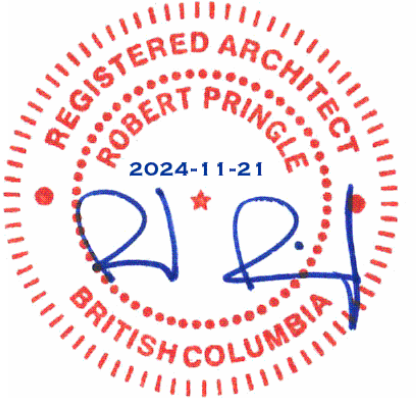


12 SHADOW STUDY - WINTER SOLSTICE - 4PM
1:700

UNION
ARCHITECTURE

315-2840 Peatt Road, Langford, BC, V9B 3V4
info@unionarchitecture.ca
www.unionarchitecture.ca

SEAL:



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INC. ALL DIMENSIONS SHALL BE
VERIFIED BY THE CONTRACTOR BEFORE
COMMENCING WORK.

NO.	ISSUED FOR:	DATE:
1	ISSUED FOR DEVELOPMENT PERMIT	SEPT 20, 2024
2	RE-ISSUED FOR DEVELOPMENT PERMIT	OCT 28, 2024
3	RE-ISSUED FOR DEVELOPMENT PERMIT	NOV 21, 2024



PROJECT NAME:
RESTHAVEN TOWNHOUSES

PROJECT ADDRESS:
10473 RESTHAVEN DRIVE, SIDNEY, BC V8L
3H6

DRAWING TITLE:
SHADOW STUDY

PROJECT NO: 24027 DRAWN: JE

SCALE: AS NOTED REVIEWED: RP

DWG NO: DP11

LEGEND

- HARDSCAPE FINISHES:**
- PP1 Concrete unit paving, Belgard Cobble Paver Stones, Tofino Grey; all sizes
 - PP2 Belgard Aqualine Series Interlocking Permeable Paving system; colour to be Midnight Grey
 - PP3 Brushed Concrete
 - PP4 Decorative Round Stone
 - PP5 Decorative Round Stone

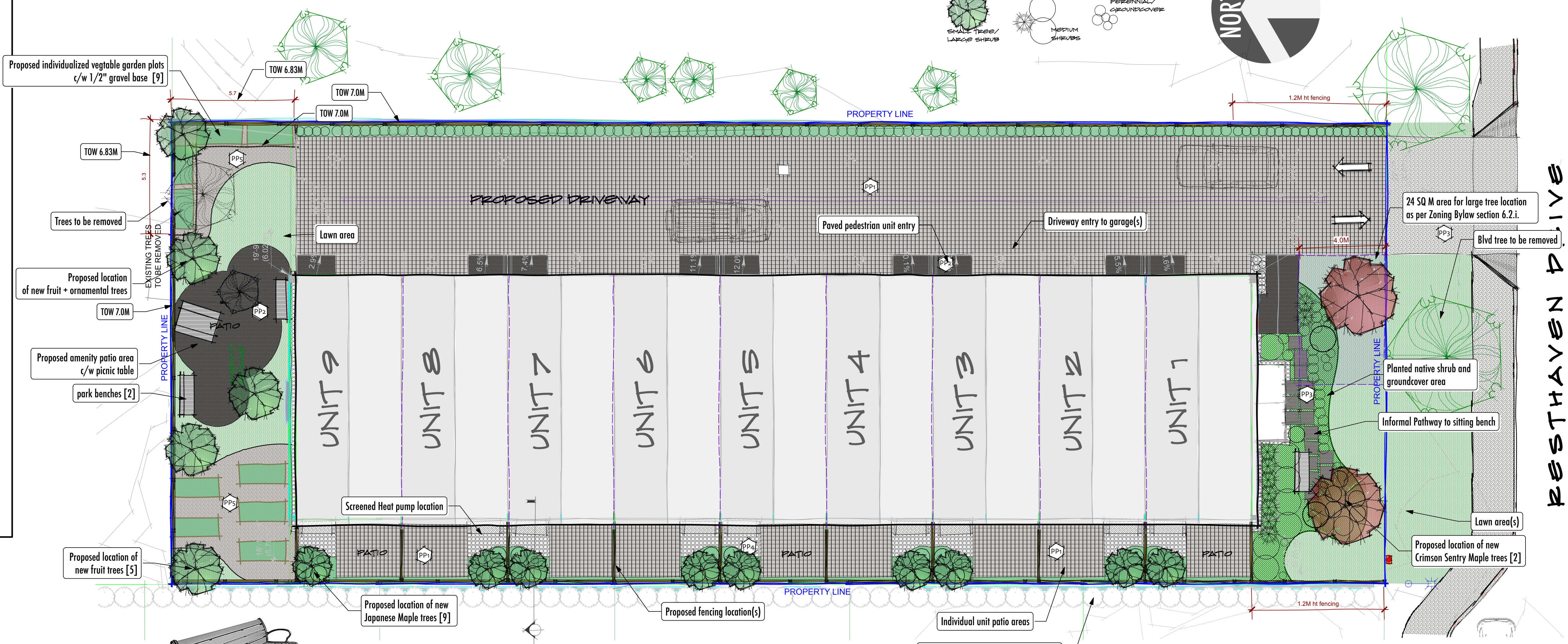
- SOFTSCAPE:**
- Lawn
 - Planting area
 - Naturalized area

- MISCELLANEOUS:**
- Wooden privacy screening approx. 1500-1800mm height

- NOTES:**
- 1) All building layout information and setback dimensions supplied by Union Architecture.
 - 2) All survey information supplied by Union Architecture.
 - 3) This drawing must not be scaled. The General Contractor shall verify all dimensions, datums and levels prior to commencement of work.
 - 4) All errors and omissions must be reported immediately to the Designer.
 - 5) This drawing is the exclusive property of the Designer and can be reproduced only with the permission of the designer, in which case the reproduction must bear the designers name.

PLANT LEGEND

- SMALL TREES / LARGE SHRUBS
- MEDIUM SHRUBS
- PERENNIAL / GROUNDCOVER

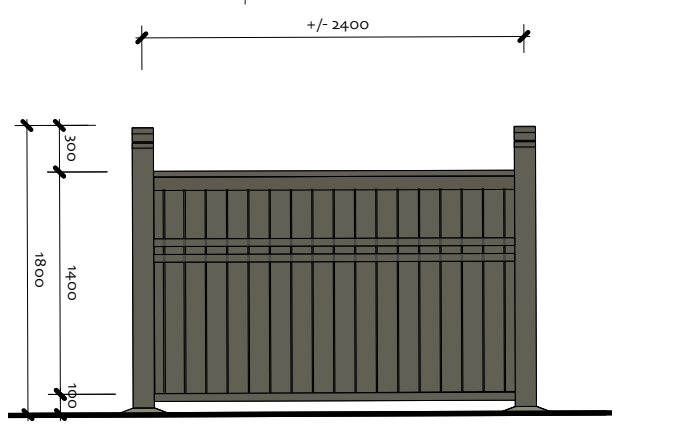


RECOMMENDED PLANT LIST

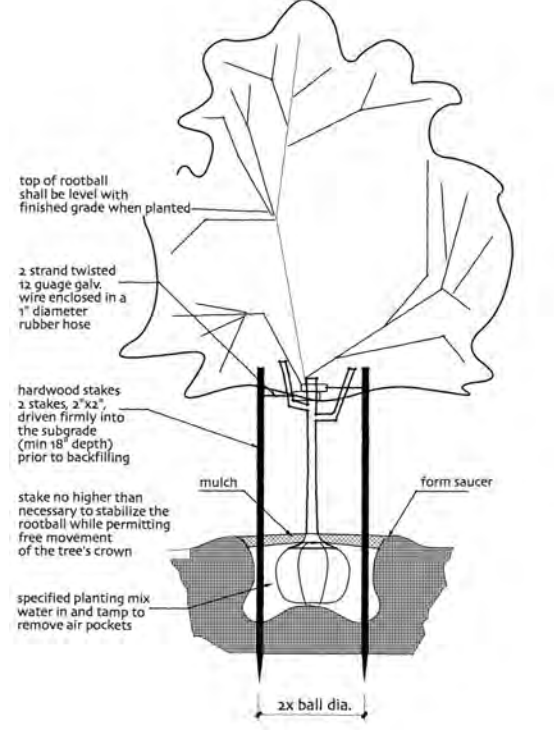
BOTANICAL NAME	COMMON NAME	SIZE /REMARKS
TREES		
Acer circinatum *	Vine Maple	1.8M ht
6 Acer palmatum Sangu Kaku	Coralbark Maple	1.8M ht
4 Acer palmatum Shishigahira	Dwarf Japanese Maple	1.8M ht
2 Acer rubrum Crimson Sentry	Crimson Sentry Maple	4cm. cal. /B&B
4 Fruit tree	Multiple Varieties	B.R.
SHRUBS & PERENNIALS		
Buxus microphylla Winter Gem	Littleleaf Boxwood	#5 Pot
Calamagrostis x acutiflora	Karl Foerster Grass	#1 Pot
Euonymus alatus Compacta	Dwarf Burning Bush	#5 Pot
Euphorbia characias Wulfenii	Wolf's Euphorbia	#5 Pot
Gaultheria shallon *	Salal	#2 Pot
Hamamelis Int. Jellena	Orange Witch Hazel	1.5M. Ht.
Hakonechloa macra aureola	Hokone Grass	#1 Pot
Hosta Hadspen Blue	Hadspen Blue Hosta	#1 Pot
Lavandula munstead	English Lavender	#1 Pot
Liriope muscari	Big Blue Lily Turf	#1 Pot
Lathyrus japonicus *	Beach Pea /Dune Wildrye	#1 Pot
Lupinus littoralis *	Seashore Lupine	#1 Pot
Mahonia aquifolium *	Oregon Grape	#1 Pot
Ophiopogon planiscapus nigra	Black Mondo Grass	#5 Pot
Polystichum munium *	Western Sword Fern	#1 Pot
Ribes sanguineum *	Native Currant Bush	#3 Pot
Rosemary officinalis		#5 Pot



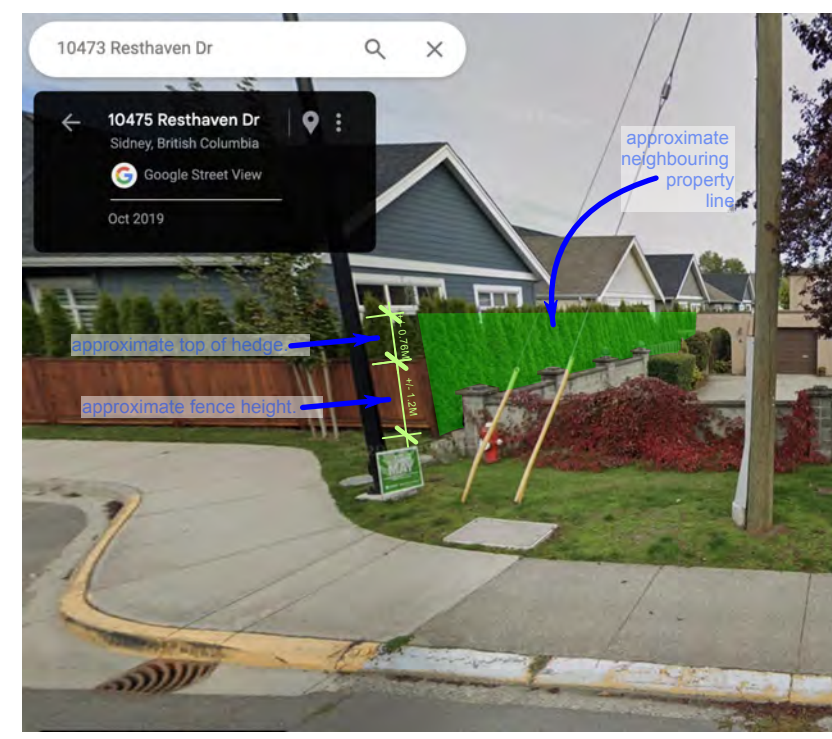
PARK BENCH AND PICNIC TABLE DETAILS
SCALE: NTS



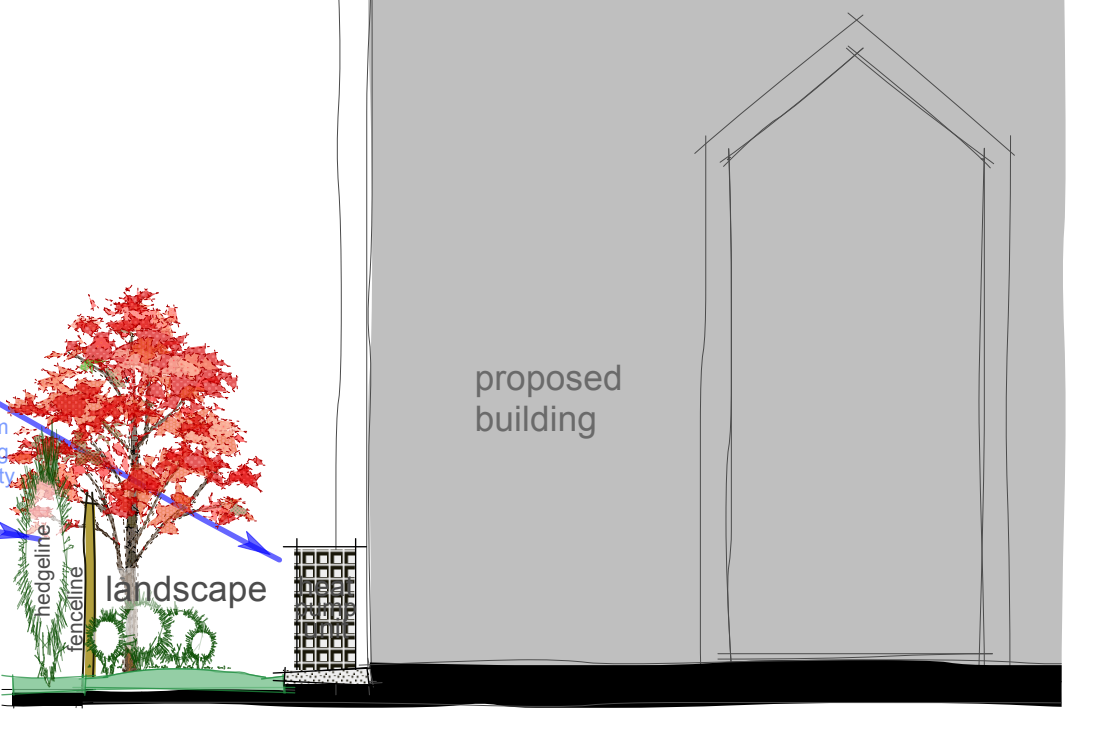
FENCING/PRIVACY SCREENING DETAIL
SCALE: NTS



TREE PLANTING DETAIL
SCALE: NTS



EXISTING SCREENING at PROPERTY LINE
SCALE = 1:7.5



HEAT PUMP SCREENING SECTION
SCALE = 1:7.5

PRE-CONSTRUCTION NOTES:

- Landscape Contractor to arrange a pre-construction meeting with Landscape Designer prior to start of work.
- Anything that is unclear should be clarified with Landscape Designer.
- All existing trees (if any) located on plan are approximate. Size and dripline of existing trees are not shown, and should be verified by a surveyor and /or arborist where necessary. Arborist to install tree protection fencing for existing significant tree(s) where necessary. Regarding any Critical Root Zones (CRZ) of trees on neighbouring lots: The CRZ should be accommodated by making a small adjustment to the grade where required. The Arborist will need to be on site to identify root areas when excavating. Ensure coordination is done in an appropriate timeframe for minimal tree impact. Any new boulevard trees to be approved by Town of Sidney Parks Department.
- Refer to engineering plans which take precedence over these plans. If there are any questions regarding discrepancies, contact the Landscape Designer immediately.

Plant material, installation and maintenance to conform to BCSLA/ BCLNA standard (current edition).
All growing medium to comply to BCLSA/ BCLNA standard designation "IP- Level-1 Well Groomed Areas".
Underground irrigation system to be installed in all common and amenity areas. Irrigation materials and installation to conform, as a minimum, to BCSLA/ BCLNA Standard (current edition) and IABC Standards. All irrigation piping under hardsurfaces to be sleeved.
Location of Patio within the amenity area subject to change.
Fencing to be built as shown on plan; portions of fencing along sideyards to be built with trellis top where shown.

Any substitutions to this plan to be verified by Landscape Designer prior to completing work.

SKL.01
28.AUGUST.2024
1:100
LATEST REVISION: 20.NOV.2024

**** FOR REVIEW ****
NOT FOR CONSTRUCTION

10473 RESTHAVEN DRIVE LANDSCAPE LAYOUT

LANDSCAPE SOLUTIONS / STUDIO ONE CREATIVE
4539 Viewmont Avenue, Victoria, BC
250.881.0706

RESIDENTIAL DEVELOPMENT :: 10473 RESTHAVEN DRIVE :: SKL.01 :: landscape layout ::