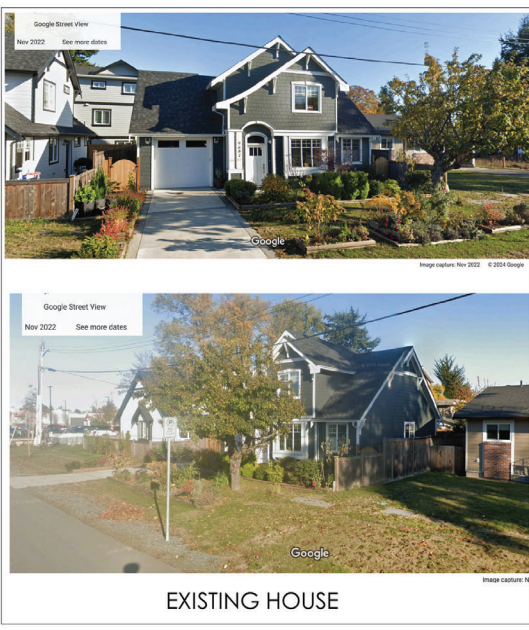
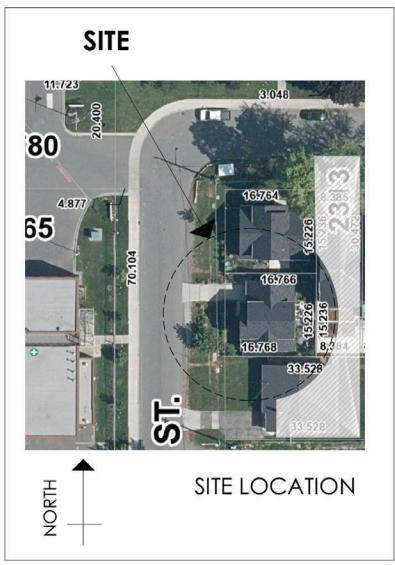


To the best of our knowledge these plans are drawn to comply with owner's specifications and any changes made on them after print are made by the contractor. We verify dimensions and areas based on the contractor's site visit. We do not guarantee accuracy of the contractor's site visit. The contractor shall verify dimensions and areas based on the contractor's site visit. We do not guarantee accuracy of the contractor's site visit. The contractor shall verify dimensions and areas based on the contractor's site visit. We do not guarantee accuracy of the contractor's site visit.



PROJECT DESCRIPTION:
Proposed Entry Addition

Project Address: 9687 Eighth Street, Sidney, BC V8L 2V2

Legal Description: Lot B, Sect on 10, Range 3 East North Saanich District, P an EPP70228 P D: 030-133-653 Zoning: R1 Intensive Ground-Oriented Residential

Owner Contact: [Redacted]

Design Approved: _____ Client Signature
 _____ Date

PROPOSED ENTRY ADDITION

Total Proposed Entry Addition Floor Area = **83.32sf (7.74m²)**

Existing Structures Coverage (Gross floor area)

Existing House & Garage	1,145.35sf (106.40m ²)
Proposed Entry Addition	83.32sf (7.74m ²)
Total Coverage	1,228.67sf (114.14m²)

Total Coverage Area: 1,228.67sf (114.14m²)

Total Coverage: 1,228.67sf (114.14m²) / 2,747.74sf (255.27m²) = 44.721% Coverage

Maximum Allowable Coverage for R1 zoned property = 50%

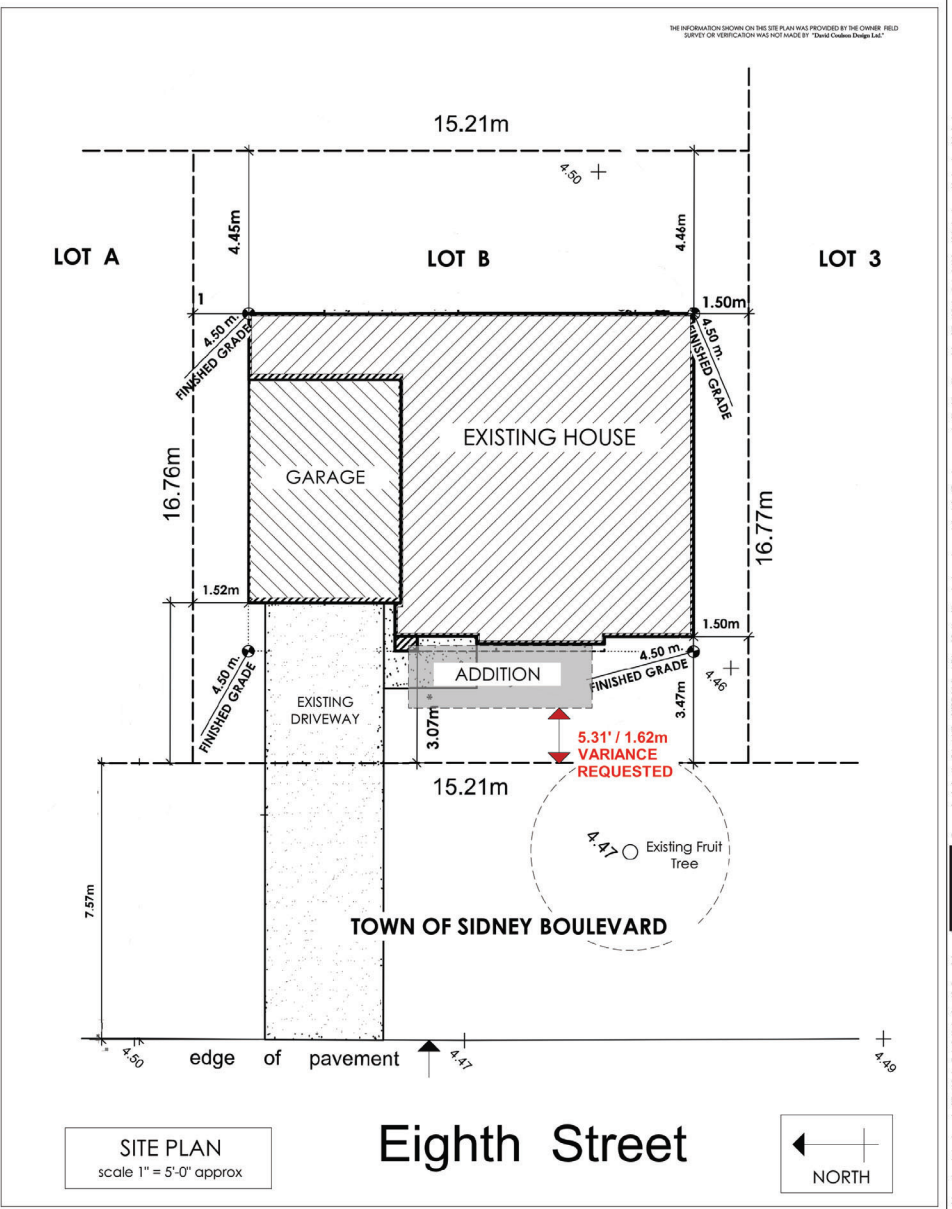
note: Lot Area = 0.063 acres = 2,747.74sf (255.27m²) approx.

SITE DATA (Zone: R1 Intensive Ground-Oriented Residential July 2024 Zoning Bylaws)	R1 Residential Dwelling	Proposed Entry Addition
Front Lot Line	3.0m (9.84)	1.62m (5.31') Variance Requested
Rear Lot Line	3.0m (9.84)	4.44m (14.57)
Right Side of Lot Line	.2m (3.94)	.5m (1.64)
Left Side of Lot Line	.2m (3.94)	.5m (1.64)
Exterior Side Lot Line	3.0m (9.84)	N/A
Building Height	2.0m (6.56)	8.3m (27.23)
Lot Coverage (a structures)	maximum allowable = 50%	1,228.67sf (114.14m ²) / 2,747.74sf (255.27m ²) = 44.721%

TABLE OF CONTENTS

- A1.- Site Plan & Site Data
- A2.- Proposed Entry Addition & Building Information
- A3.- Proposed Entry Foundation & Building Location Certificate
- A4.- Elevations
- A5.- Roof Plan & Landscape Notes, Elevation & Section
- A6.- Exterior Views & Colours
- A7.- Street View & Plan
- A8.- Specifications & Elevation

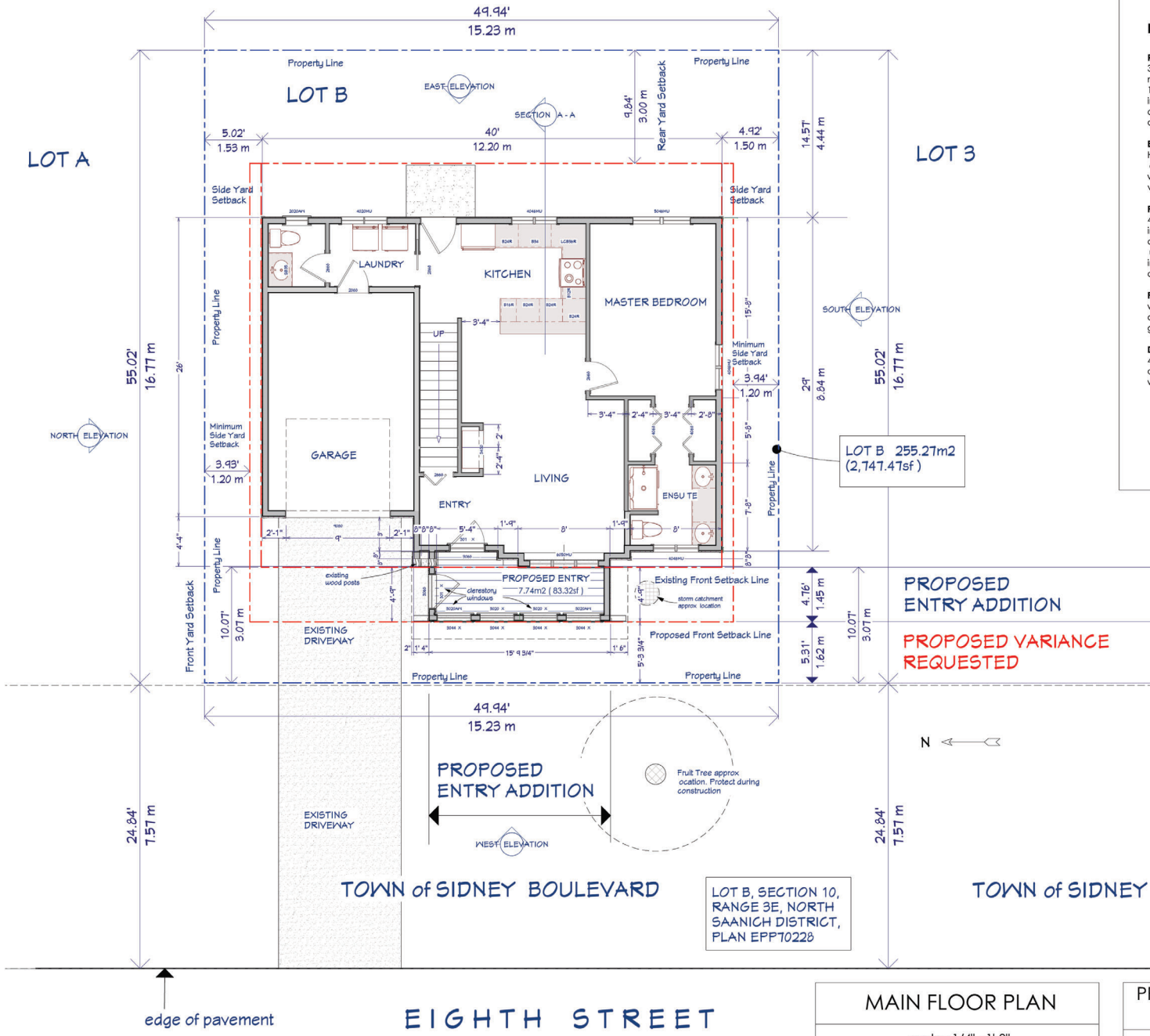
PROPOSED ENTRY ADDITION



SITE PLAN & SITE DATA
scale : as shown

SHEET **A1**
 Scale: as shown
 10/21/2024
 Design: David Coulson
 Client: Bill Robinson
 18 May 2024
 Checked: David Coulson
 Revision 1
 11/08/2024
 9687 Eighth Street, Sidney, BC
 David Coulson Design Ltd.
 1000-12th Street, Sidney, BC V8L 2V2
 Tel: 250-946-2370
 Web: davidcoulsondesign.com

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BUILDING INFORMATION

ROOF STRUCTURE
30 yr fiberglass asphalt roofing to match existing, on roofing membrane on 1/2" plywood sheathing on 2x4 wood strapping at 16" o.c. on 2x8 wood roof joists at 16" o.c. with R40 Roxu insulation, 6mil poly vapour barrier (uv resistant) and 1/2" ceiling board drywa, painted, perforated aluminum soffit at eaves, ventilation as per code (1/300).

EXTERIOR WALL ENVELOPE
Hardipank fibre cement siding on rain screen drainage layer on Tyvek wrap on 1/2" plywood sheathing on 2x6 wood studs @ 16" o.c. with R22 Roxu insulation, 6mil poly vapour barrier (uv resistant) and 1/2" drywa, painted.

PROPOSED ENTRY ADDITION FLOOR
4" exposed concrete aggregate slab on 2 1/2" SM rigid insulation on 6mil poly vapour barrier (uv resistant) on compacted gravel fill on soild undisturbed grade (or use luxury vinyl plank on 4" concrete slab on 2 1/2" SM rigid insulation on 6mil poly vapour barrier (uv resistant) on compacted gravel fill on soild undisturbed grade.)

FOUNDATION WALL ON FOOTINGS
waterproofing on 8" concrete wall with 8"x16" continuous concrete strip footing with 5mm rebar on undisturbed ground, min. 18" below grade

DRAINAGE SYSTEM
4" perforated PVC 3" soild rain water leader with 6" drain rock top & side. Located below interior slab height with landscape cloth over

MAIN FLOOR PLAN
scale : 1/4" = 1'-0"

PROPOSED ENTRY ADDITION & BUILDING INFORMATION
scale : as shown

SHEET
A2

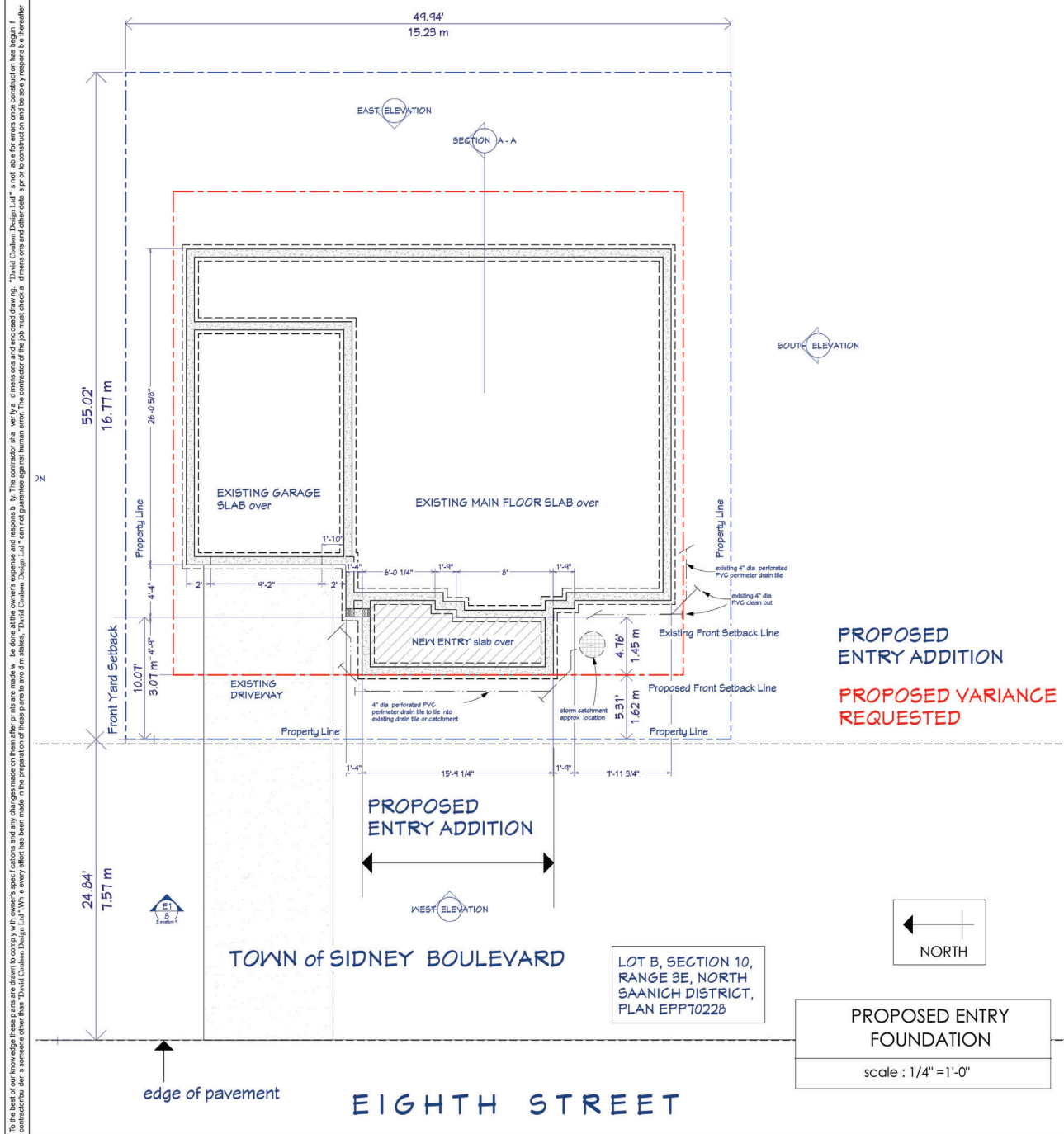
Scale: as shown
10/21/2024

David Coulson
Owner: Bill Robinson
18 1st Ave
Vancouver, BC V6J 1G2
Website: David Coulson

Revision 1
11/08/2024

9687 Eighth Street, Sidney, BC

David Coulson Design Ltd.
Professional Engineers and Architects
1000-12th Street, Sidney, BC
V8P 1A1
Tel: 250-861-1234
Fax: 250-861-1235
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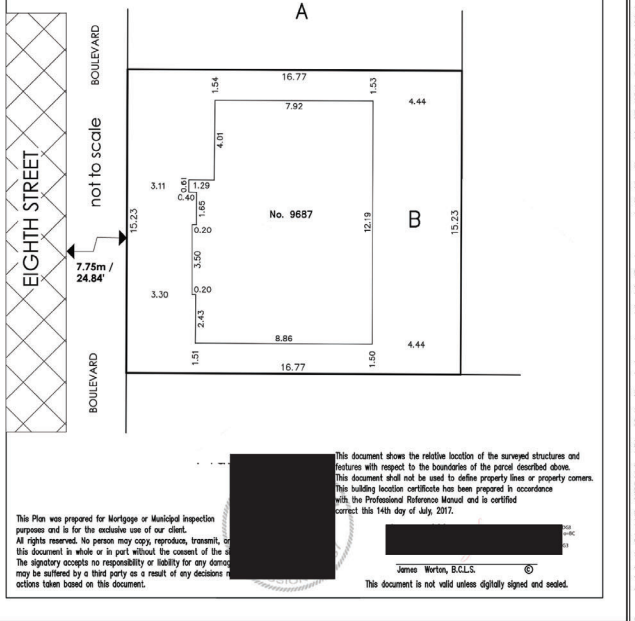
PROPOSED ENTRY ADDITION
PROPOSED VARIANCE REQUESTED

PROPOSED ENTRY FOUNDATION
scale : 1/4" = 1'-0"

POWELL & ASSOCIATES
BC Land Surveyors
Building Location Certificate of:
Lot B, Section 10, Range 3 East,
North Saanich District, Plan EPP70228
Civic Address: 9687 Eighth Street
Parcel Identifier: 030-133-653
In the Town of Sidney
Prepared for: D+B Developments Ltd.

SCALE 1 : 150, Metric
(plot on 8.5" x 11" sheet)
Setbacks are derived from field survey.
Parcel dimensions shown hereon are derived from Land Title Office records.

250-2950 DOUGLAS ST
VICTORIA, B.C.
V8T 4N4
Phone: 382-8855
File: 12382-88C



BUILDING LOCATION CERTIFICATE
not to scale

NORTH

PROPOSED ENTRY FOUNDATION & BUILDING LOCATION CERTIFICATE
scale : as shown

SHEET

A3

Scale: as shown

10/21/2024

David Coulson, Designer, B.S., B.C. Surveyor
David Coulson, Checker, B.S., B.C. Surveyor
V. P. J. P. J., Designer

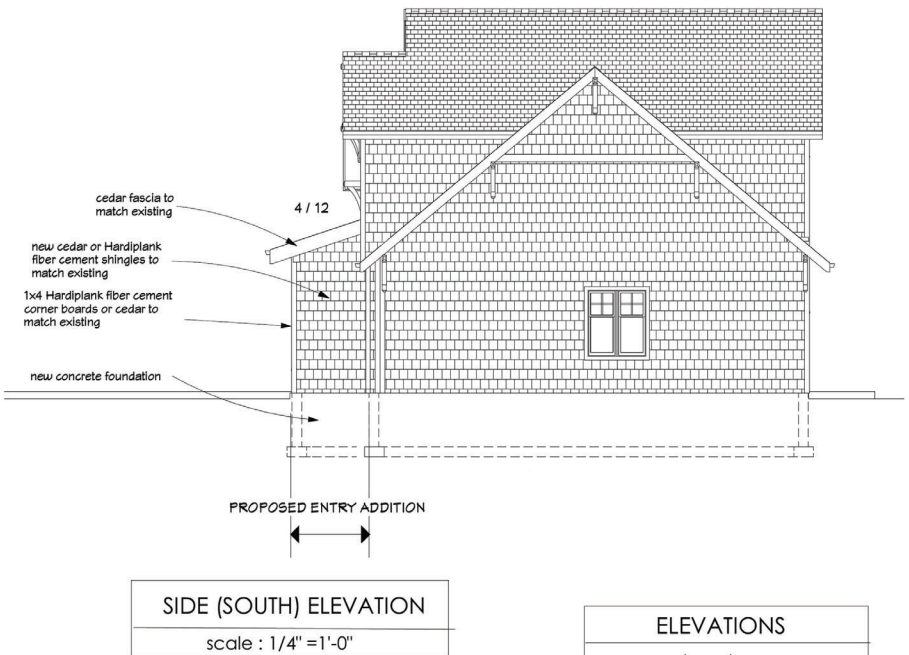
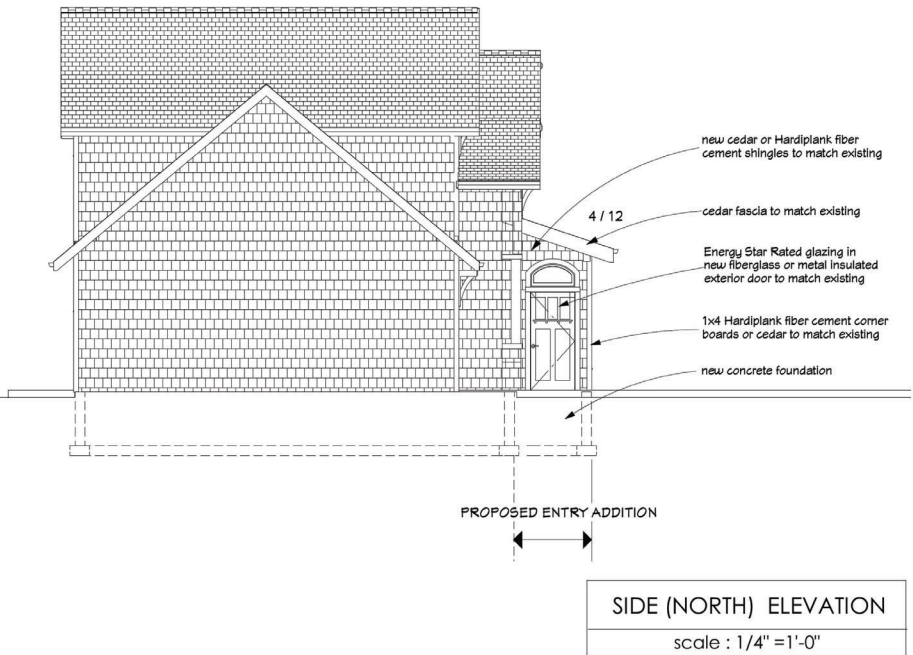
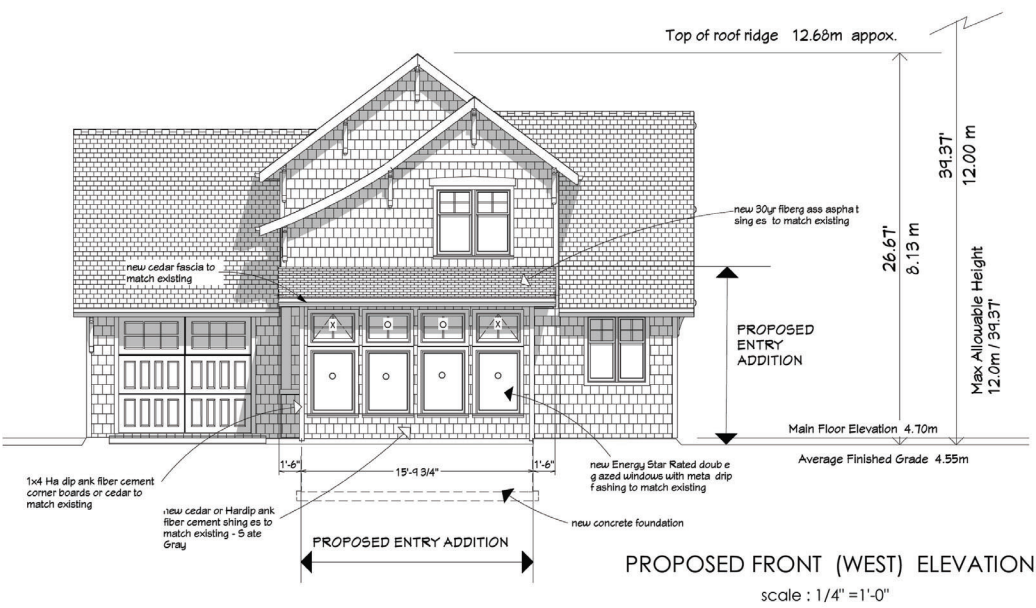
Revision 1
11/08/2024

9687 Eighth Street, Sidney, BC

POWELL & ASSOCIATES
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Phone: 382-8855
File: 12382-88C

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PH: 250-936-2372
WWW.DCDDESIGN.COM

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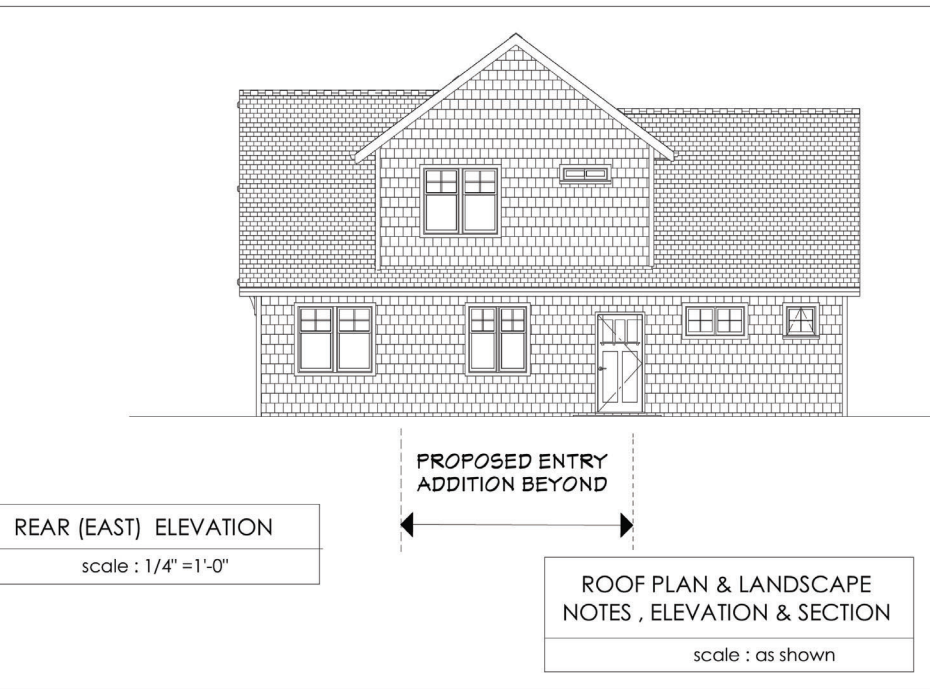
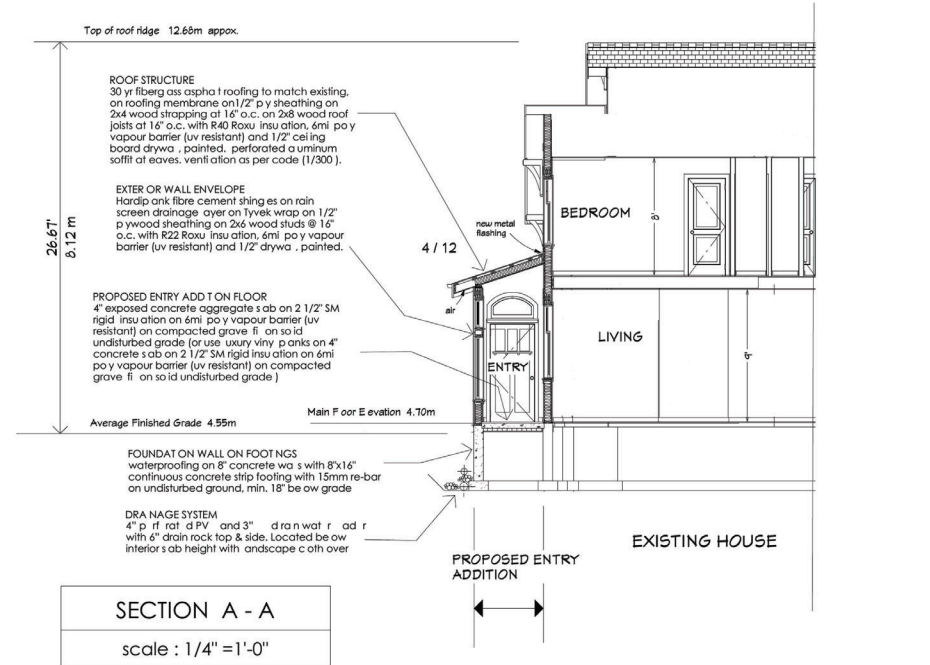
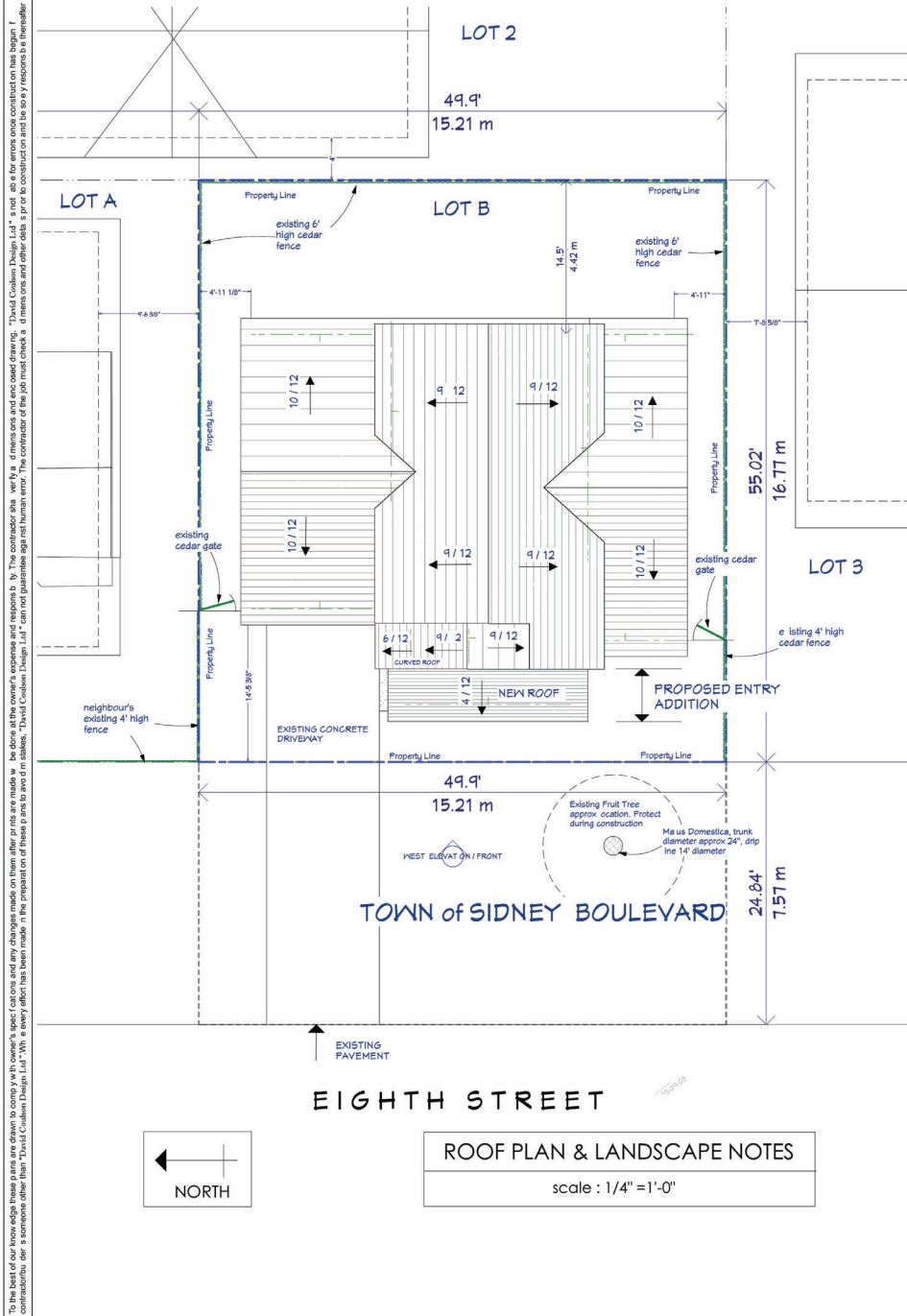
ELEVATIONS
scale as shown

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SHEET	A4
Scale: as shown	10/21/2024
David Coulson Owner: Bill Wilson 18 Main St Westport, David Coulson	Revision 1 11/08/2024

9687 Eighth Street, Sidney, BC

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 3080 Highway 100, Sidney, BC V8L 4G1
 Tel: 250-859-1637
 Web: davidcoulsondesign.com



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 TEL: 250-939-1837 FAX: 250-939-1838
 WWW: davidcoulsondesign.com

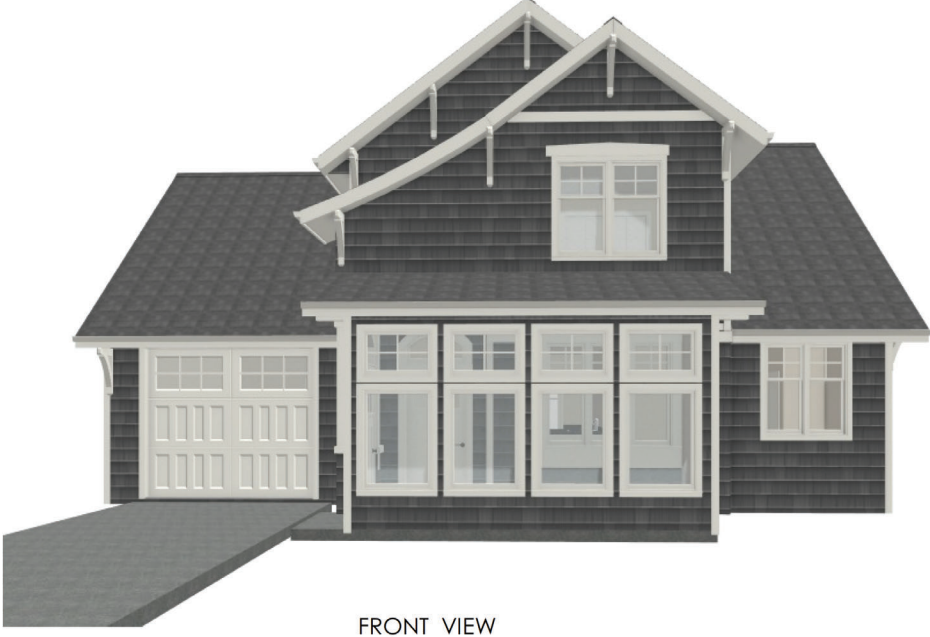
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 REG. NO. 10000-18-0378

BC
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 REG. NO. 10000-18-0378

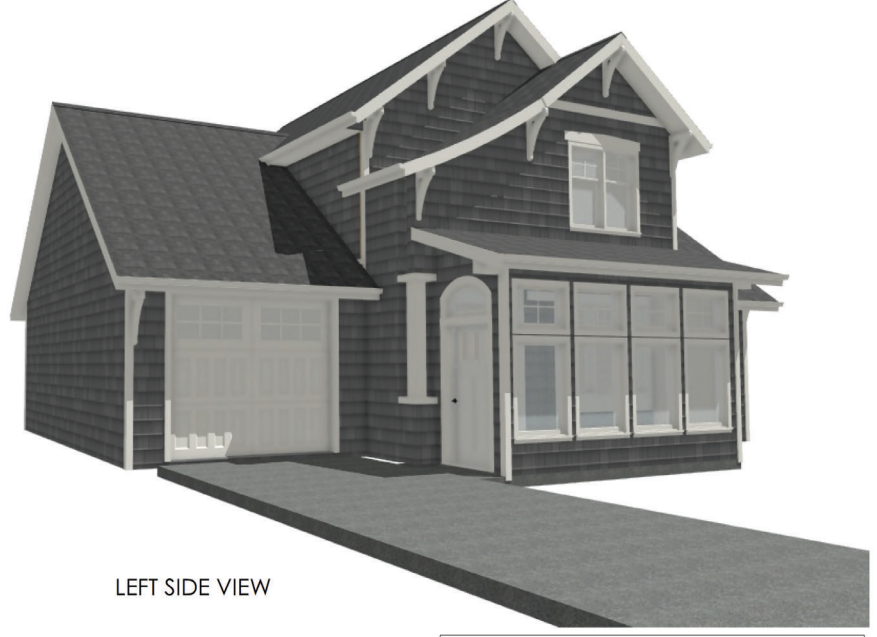
SHIELD
A5
 Scale: as shown
 10/21/2024
 Checked: David Coulson
 Drawn: Bill Robinson
 18 Nov 2024
 Revised: David Coulson
 11/08/2024

9687 Eighth Street, Sidney, BC

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FRONT VIEW



LEFT SIDE VIEW



RIGHT SIDE VIEW

COLOURS to match Existing

Wall Shingles : Slate Gray to match existing "Exteria Roughsawn EZ shingles- Slate Gray"

Cedar Fascia: Prefinished White to match existing

Aluminum Gutter & Downspouts: Prefinished White to match existing

Corner Boards: Prefinished White to match existing

Entrance Door & Windows: Prefinished White to match existing

Fiberglass Asphalt Shingles: Charcoal Black from Certain Teed / Designer / Landmark to match existing

Wholesale Vinyl & Aluminum

RoughSawn Cedar EZ

Classic Series

Aluminum Gutter & Downspouts

Corner Boards

Entrance Door & Windows

Fiberglass Asphalt Shingles

Slate Gray Siding

Charcoal Black Shingles

Overview

CertainTeed's Landmark shingles are a popular choice for homeowners seeking a durable and aesthetically pleasing roofing option. These shingles are engineered with a dual-layer design, featuring a tough fiberglass base and a protective outer layer, providing superior protection against the elements.

EXTERIOR VIEWS & COLOURS
not to scale

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2307 OAKVILLE AVENUE



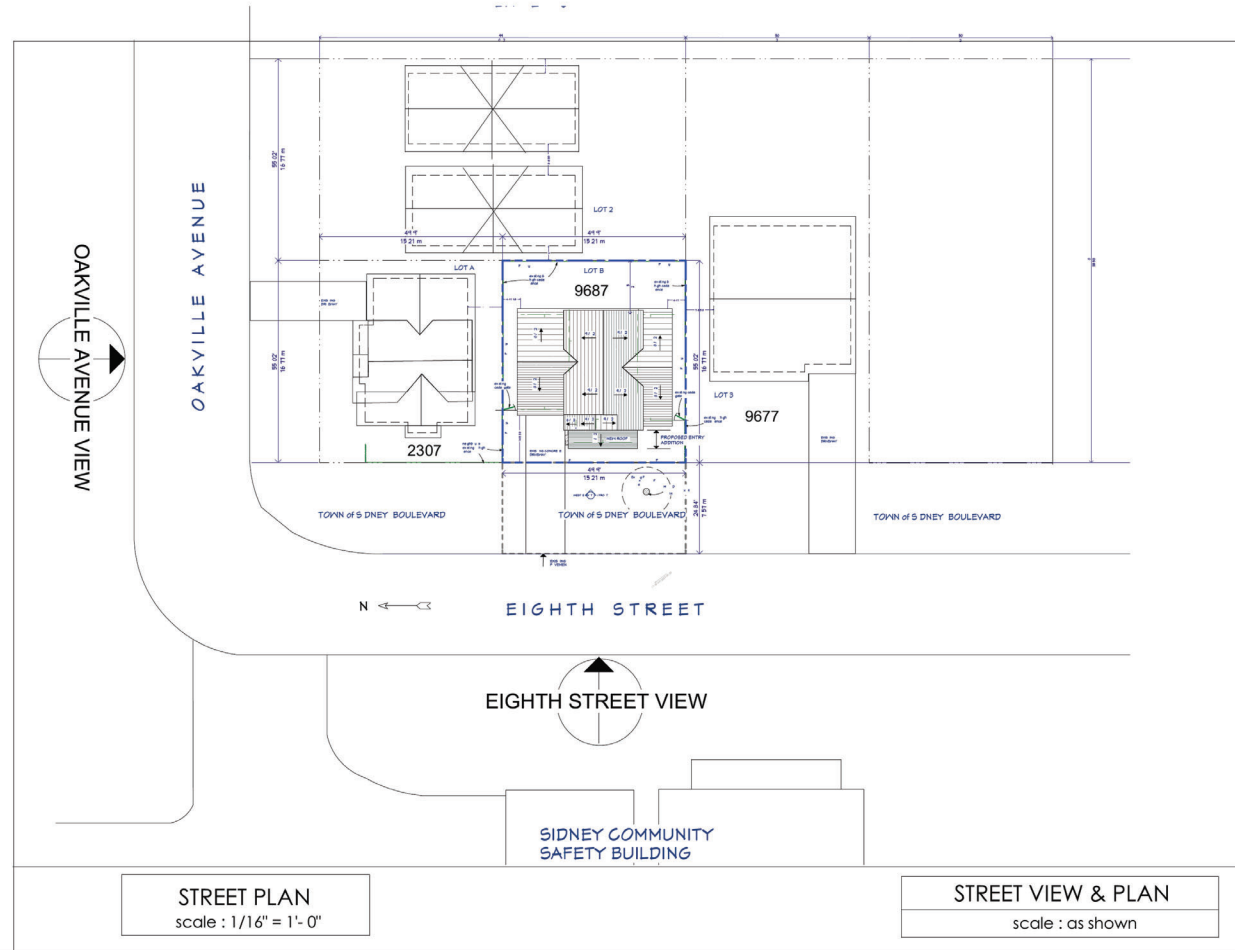
9687 EIGHTH STREET FRONT VIEW



9677 EIGHTH STREET FRONT VIEW



2307 OAKVILLE AVENUE FRONT VIEW



SHEET
A7
 Scale: as shown
 10/21/2024
 Revision 1
 11/08/2024

9687 Eighth Street, Sidney, BC

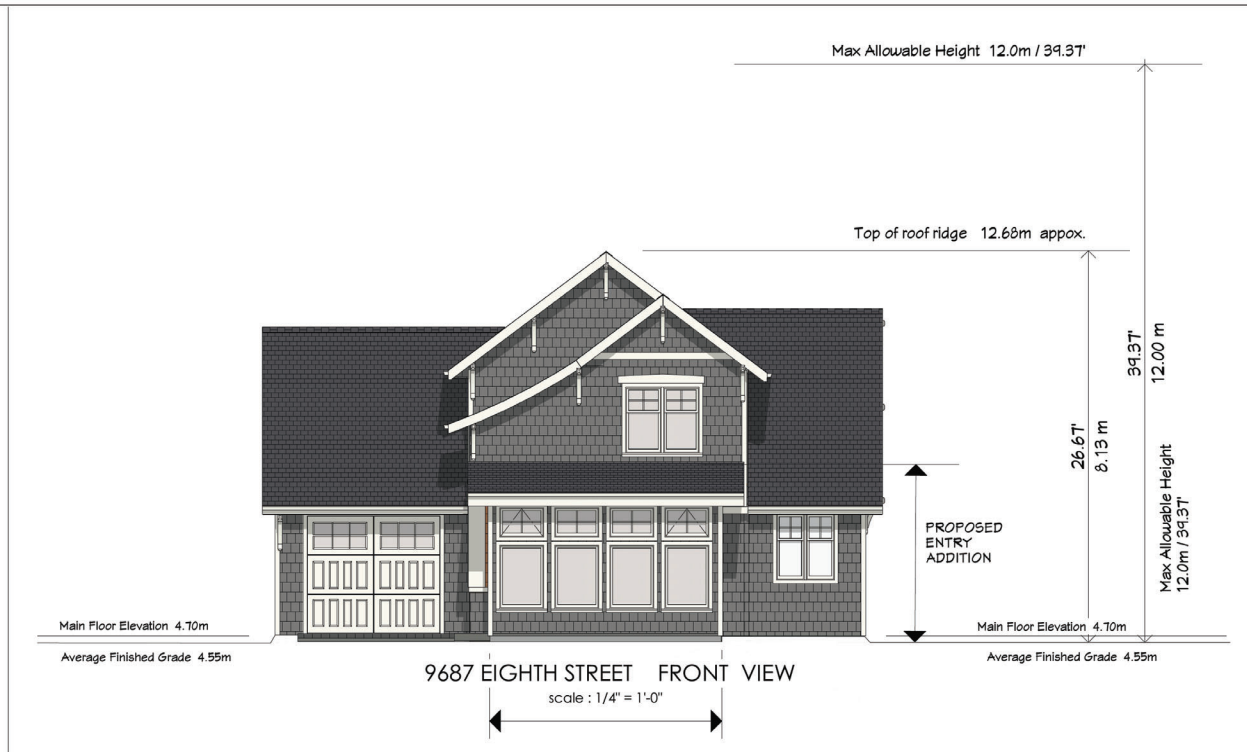
DAVID COULSON DESIGN LTD.
 ARCHITECTURE & INTERIOR DESIGN
 5784 GARDNER ROAD, SIDNEY, B.C. V8P 6P3
 TEL: 250-709-1623 FAX: 250-709-1624
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SPECIFICATIONS

GENERAL NOTES

- Contractors to verify all dimensions prior to commencement of work and shall notify the owner and designer of any errors and discrepancies.
- Noted dimensions shall take precedence over scaled drawings.
- Exterior dimensioning is to the face of concrete/framing. Interior dimensioning is to center line of partition. Unless otherwise noted.
- Structure noted as "engineered" shall be engineered by certified structural engineer. Where required, drawings shall be stamped with engineer's seal.
- All joists/beams sized herein, not noted "engineered by others" based on tables on BCBC 2018.
- All work shall be equal in all respects to good construction practice, and shall conform to current zoning bylaws of the authority having jurisdiction and the British Columbia Building Code 2018 (BCBC).
- It is the responsibility of the owner and contractor to have site soil conditions inspected and advise designer of any soil conditions which may require special foundation design.
- All structural wood to be SPF #2 or better unless noted otherwise.
- All roof trusses must be engineered and installed in accordance with manufacturer's details and specifications if referenced in these plans.
- Wood sill plates to be separated from concrete by waterproof sill gasket complete with 12.5mm (1/2") anchor bolts to foundation.
- All wood in contact with concrete must be pressure treated or separated with approved material.
- Conform to all fire and life safety provisions of the BCBC 2018, Part 9.
- Verify existing and proposed grades prior to setting out. Cut, fill and compact according to building elevations. Verify maximum allowable building heights in the local jurisdictions zoning bylaws and ensure that the building is located to suit where not otherwise indicated.
- Provide stepped footings where required in accordance with existing or future grades. Underside of bottom plate of framed wall shall not be less than 204mm (8") above adjacent grade.
- Provide minimum 204mm (8") clearance from grade to wood cladding materials per BCBC 2018, 9.27.2.4. Exterior foundation walls shall not extend less than 204mm (8") above grade, unless adjacent to impermeable surface.
- 20 MPa concrete to be used exclusively unless noted.
- Install graspable handrail to all stairs @ 914mm (36") above nosing, per BCBC 2018.
- Install guardrail at all balconies, decks and porches greater than 610mm (24") above adjacent grade. Install guardrail 1067mm (42") above deck. Install pickets where indicated @ max. 95mm (3 3/4") spacing between each. Guard to resist loads per BCBC 2018, 9.8.8.2. Install per BCBC 2018.
- Install self-adhesive waterproof membrane around all openings according to the most current accepted building envelope guideline. Install membrane over top of properly lapped building paper at openings. Follow details provided within this set and assume similar for situations not expressly detailed.
- PVC roof membranes shall conform to material standard CAN/CGSB 37.54, "Polyvinyl Chloride Roofing & Waterproofing Membrane" and installed per BCBC 2018, 9.26.16 "PVC Sheet Roofing."
- Full rainscreen system to be implemented and conform to BCBC 2018, 9.27 Cladding and Moisture Protection as detailed within this set.



ROUGH CARPENTRY

- Wood framing to conform with CSA 086.
- Wire nails, spikes and staples are to be factory coated in accordance with CSA 19111.
- Framing lumber to be SPF #2 or better U.N.O.
- Engineered Wood Beams to have shop drawings submitted with specifications.
- Floors and roofs are considered to be diaphragms and must be built with the following:
 - Floor sheathing to be 3/4" plywood glued and nailed to framing:
 - per meter naing of sheets to be 2-1/2" na s at 6" o/c
 - intermediate naing of sheets to be 2-1/2" na s at 12" o/c
 - Roof sheathing to be 1/2" plywood nailed to the framing:
 - per meter naing of sheets to be 2-1/2" na s at 6" o/c
 - intermediate naing of sheets to be 2-1/2" na s at 12" o/c
 - & G decking is permitted to act as a diaphragm if sheathing fl is oriented at 45° to the framing.
- U.N.O. walls are considered to provide lateral restraint and are constructed with:
 - 1/2" Plywood sheathing or better
 - 2-1/2" na s at 6" o/c around perimeter of each pane
 - 2-1/2" na s at 12" o/c for intermediate pane framing
 - 2x6 studs at 16" o/c
- Provide double top plates on load bearing walls.
 - Lap splice top plates with a minimum of 12-3" na s and 24" overlap.
- Provide a suitable post base connector and post cap connector for a free standing post.
 - Verify suitability of connector with Engineer before installation.
- Anchor bolts are to be placed directly above openings.
- Bridgman's nails are not to exceed noted size or 1/4 depth of member.
- Posts are to be continuous with blocking in floor systems or posts below to match post right down to the foundation. Larger posts may be specified at over eaves.
- Provide double bottom plates for walls on floors with concrete topping.

CONCRETE

- Concrete is to be as per the supplier's specifications to meet the following requirements in accordance with CSA 23.1/23.2 and CSA 23.3:
 - minimum 28-day compressive strength $f_c = 25$ MPa, U.N.O.
- The supplier is responsible for concrete delivery that meets the performance requirements stated above.
- Concrete is to be suitable for the concrete finishes as specified by the design drawings and is to be the responsibility of the contractor.
- Do not add water or plasticizers on site unless specified by the supplier.
- Provide the following minimum concrete cover unless otherwise specified:
 - Footings placed on soil or fill:
 - Placed beside normal, free draining soil or fill:
 - Against soil with sulfides, chlorides or saturated:
 - Slab-on-grade:
 - Minimum concrete cover U.N.O.
- Rebar to have a minimum yield strength of 300 MPa for 10M bar and 400 MPa for a larger bar with a maximum of 500 MPa as per CSA 23.3 and CSA G30.18.
- Splice length of rebar to be a minimum of 600 mm (24") U.N.O.
- Rebar placement to be within $\pm 1/4$ " of the specified placement

FOUNDATIONS

- Concrete for foundations is to be as per the supplier's specifications to meet the following requirements in accordance with CSA 23.1/23.2 and CSA 23.3:
 - minimum 28-day compressive strength $f_c = 25$ MPa
 - exterior foundation walls and footings to meet class F-2 performance
 - interior foundation walls, footings and slabs to meet class N performance
- Foundations to be cast in place with tolerances not to exceed the following:
 - Footing width: -1" to +2"
 - Footing depth: -1/2" to +10"
 - Wall thickness: $\pm 1/4$ "
 - concrete cover: $\pm 1/4$ "
- Footings to be placed on a suitable subgrade with the specified frost protection.
- It is the contractor's responsibility to verify that the soil conditions are suitable for the foundations as per these drawings by engaging a qualified geotechnical engineer to confirm the soil bearing capacity and use/ness.
- Protection of adjacent structures is the responsibility of the contractor.
- Foundations to be located as per these structural drawings. Where specific notes are provided, the foundations are to be centered under the support from above.
- Footings are designed in accordance with limit states design.
- Confirm service locations prior to placing footings as footings may need to be lowered to suit site services.
- Dows are to be placed prior to concrete pour unless approved to do otherwise has been obtained from HCL. Temp spikes should be used to set column or hold down anchorage.
- Foundation walls are to be continuous from footing to floor system
- Provide two 15M continuous at top of a foundation wall
- Provide minimum 2x3 keyway in a footing
- Provide minimum two 15M continuous through footings
- Unless specified otherwise, provide 15M @ 10" o/c each way at bottom of pad footings.

SPECIFICATIONS & ELEVATION

scale: as shown

SHEET A8
Scale: as shown
10/21/2024

Revised: 11/08/2024

9687 Eighth Street, Sidney, BC

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BC BUILDERS ASSOCIATION
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