

PROJECT STATISTICS SEVENTH STREET DATE: 09-04-2024

SITE INFORMATION			
CIVIC ADDRESS: 8995 & 9899 SEVENTH STREET, SIDNEY, BC			
SITE AREA: 1318 m ² 14,997 SF			
ZONING: RM7			
FLOOR AREA RATIO (FAR): 1.3 (Max 1.0) 1.3			
SITE COVERAGE: 50.0% (Max) 50.0%			
PARKING COVERAGE (LOT): 42.4%			
PARKING AREA VS FIRST STOREY: 69.3%			
ADAPTABLE UNITS: 23.8%			
3 BED UNITS: 16.3%			
% OF REQUIRED 3 BED ON FIRST OR SECOND STOREY: 1.8%			
BUILDING DATA			
NUMBER OF STOREYS: 4 (Max) 4 (Max)			
BUILDING HEIGHT: 16.00 m (Max) 52.49' (Max) 15.75 m 51.67'			
setbacks: FRONT (WEST): 4.50 m (Min) 14.76' (Min) 4.50 m 14.76'			
REAR (EAST): 4.50 m (Min) 14.76' (Min) 4.50 m 14.76'			
SIDE (NORTH): 4.50 m (Min) 14.76' (Min) 4.50 m 14.76'			
SIDE (SOUTH): 4.50 m (Min) 14.76' (Min) 4.50 m 14.76'			
MULTIFAMILY UNITS			
DESCRIPTION	# OF UNITS	AREA	TOTAL AREA
UNIT A	3	75 m ² 809 SF	225 m ² 2,427 SF
UNIT B	3	69 m ² 738 SF	207 m ² 2,234 SF
UNIT C (Adaptable)	5	69 m ² 742 SF	345 m ² 3,710 SF
UNIT D	4	69 m ² 742 SF	276 m ² 2,968 SF
UNIT E	3	99 m ² 1,062 SF	297 m ² 3,186 SF
UNIT F	3	308 m ² 3,324 SF	924 m ² 9,936 SF
TOTALS	21	1,431 m ²	15,962 SF
FLOOR AREAS			
LEVEL	GROSS	FAR EXCLUSIONS	
LEVEL 1	367 m ² 3,946 SF	58 m ² 623 SF	
LEVEL 2	671 m ² 7,203 SF		
LEVEL 3	671 m ² 7,203 SF		
LEVEL 4	671 m ² 7,203 SF		
TOTAL	2,380 m ² 25,555 SF		
BUILDING FOOTPRINT AREA: 670 m ² 7,170 SF			
PARKING AREA: 528 m ² 5,679 SF			
PARKING DATA			
PARKING TYPE	REQUIRED	PROPOSED	
RESIDENTIAL	21.0	22	
TOTAL PARKING	21.0	22	
PARKING DATA			
PARKING STALL MIX	Required	%	Proposed
Standard Stalls	20	95%	22
Small Car Stalls (20% Max)	1	5%	0
Accessible Stalls	0	0%	0
TOTAL	21	100%	22
BIKE PARKING			
Required	27	79%	27
Proposed	27	100%	27



LOCATION PLAN N.T.S.



EXISTING STREET VIEW

SEVENTH STREET CONDO

CONDO BUILDING
 CIVIC ADDRESS: 9895 & 9899 SEVENTH STREET, SIDNEY, BC
 LEGAL DESCRIPTION:

ISSUED FOR DEVELOPMENT PERMIT
 9895 & 9899 SEVENTH STREET, SIDNEY, BC
 LOT 15, BLOCK 4, PLAN V1919, SECTION 11, RANGE 1E, NORTH SAANICH LAND DISTRICT, & R1E 1E
 LOT 15, BLOCK 4, PLAN V1919, SECTION 11, RANGE 1E, NORTH SAANICH LAND DISTRICT, & R1E 1E



CONCEPTUAL RENDERING

CONSULTANT LIST	DRAWINGS - ARCHITECTURAL
CLIENT: JERRY WAKEFIELD CONSTRUCTION INC 2085 Sun Main Sidney BC V8L 3S3	DATE: COVER SHEET
ARCHITECT: UNION ARCHITECTURE INC. 315-2840 Peatt Road, Langford, BC, V9B 3V4 Contact: Rob Pringle (Architect AIBC)	DATE: FLOOR PLAN - LEVEL 1 & 2
	DATE: FLOOR PLAN - LEVEL 3 & 4
	DATE: ROOF PLAN
	DATE: UNIT PLANS
	DATE: ELEVATIONS - NORTH & EAST
	DATE: ELEVATIONS - SOUTH & WEST
	DATE: BUILDING SECTIONS
	DATE: PHOTOGRAPHY
	DATE: SHADOW STUDY
	DATE: EXISTING SURVEY



315-2840 Peatt Road, Langford, BC, V9B 3V4
 info@unionarchitect.ca
 www.unionarchitect.ca



COPYRIGHT RESERVED
 THIS DRAWING IS AN ORIGINAL
 PROPERTY OF JERRY WAKEFIELD
 CONSTRUCTION INC. ALL INFORMATION SHALL BE
 KEPT IN THE CONFIDENTIAL BEFORE
 CONTRACTING AND AFTER

NO.	ISSUED FOR:	DATE:
1	ISSUED FOR DEVELOPMENT PERMIT	2024-07-15
2	DEVELOPMENT PERMIT COMMENTS	2024-08-05
3	DEVELOPMENT REVIEW COMMITTEE COMMENTS (REV 0)	2024-08-04



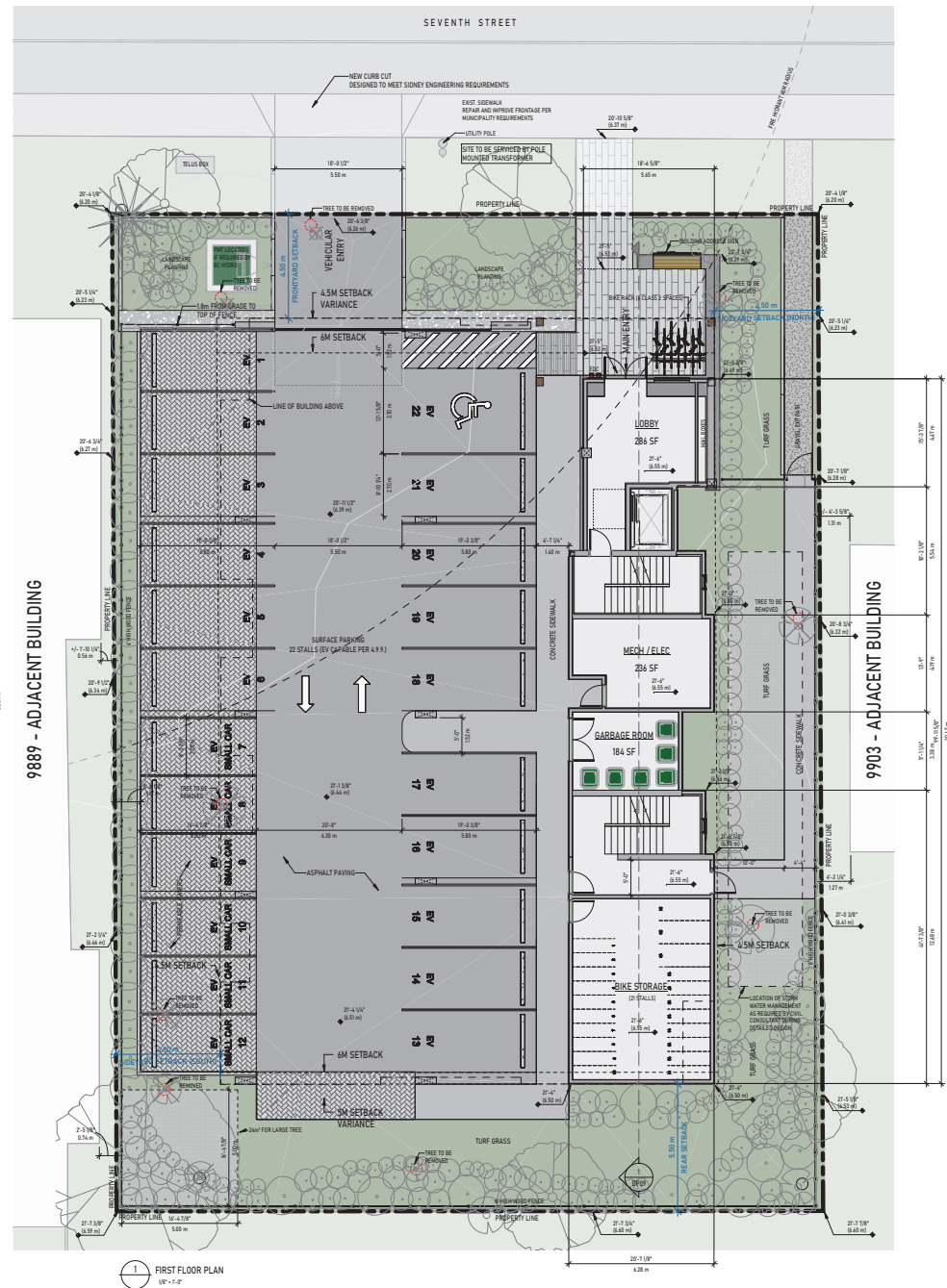
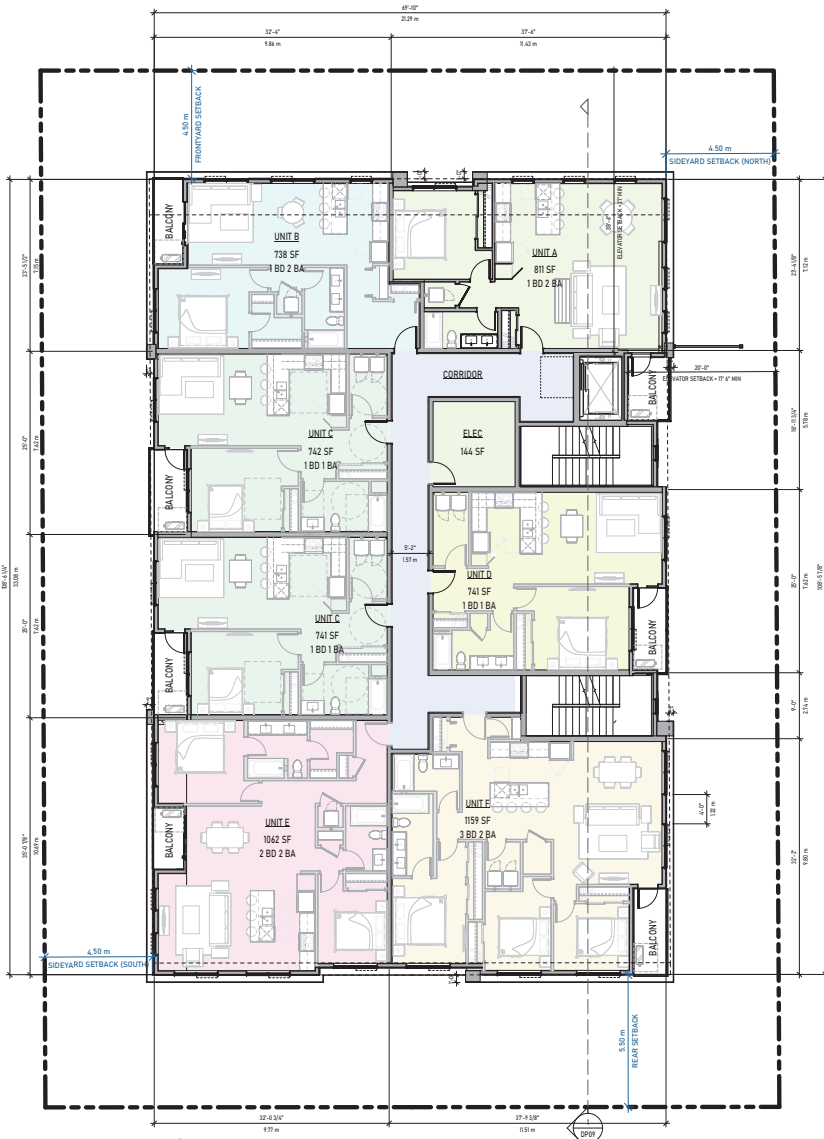
PROJECT NAME:
SEVENTH STREET CONDO

PROJECT ADDRESS:
9895 & 9899 SEVENTH STREET, SIDNEY, BC

DRAWING TITLE:
COVER SHEET

PROJECT NO: 24016 DRAWN: JS / AS
 SCALE: REVIEWED: RP

DWG NO: **DP01**



UNION
ARCHITECTURE

315-2840 Peach Road, Langford, BC, V9B 2V6
 140@unionarchitect.ca
 www.unionarchitect.ca



NO. ISSUED FOR: DATE:
 1 ISSUED FOR DEVELOPMENT PERMIT 2024-07-15
 2 DEVELOPMENT PERMIT COMMENTS 2024-08-01
 3 DEVELOPMENT REVIEW COMMITTEE COMMENTS (REV 0) 2024-08-04

JERRY WAKEFIELD
CONSTRUCTION INC.

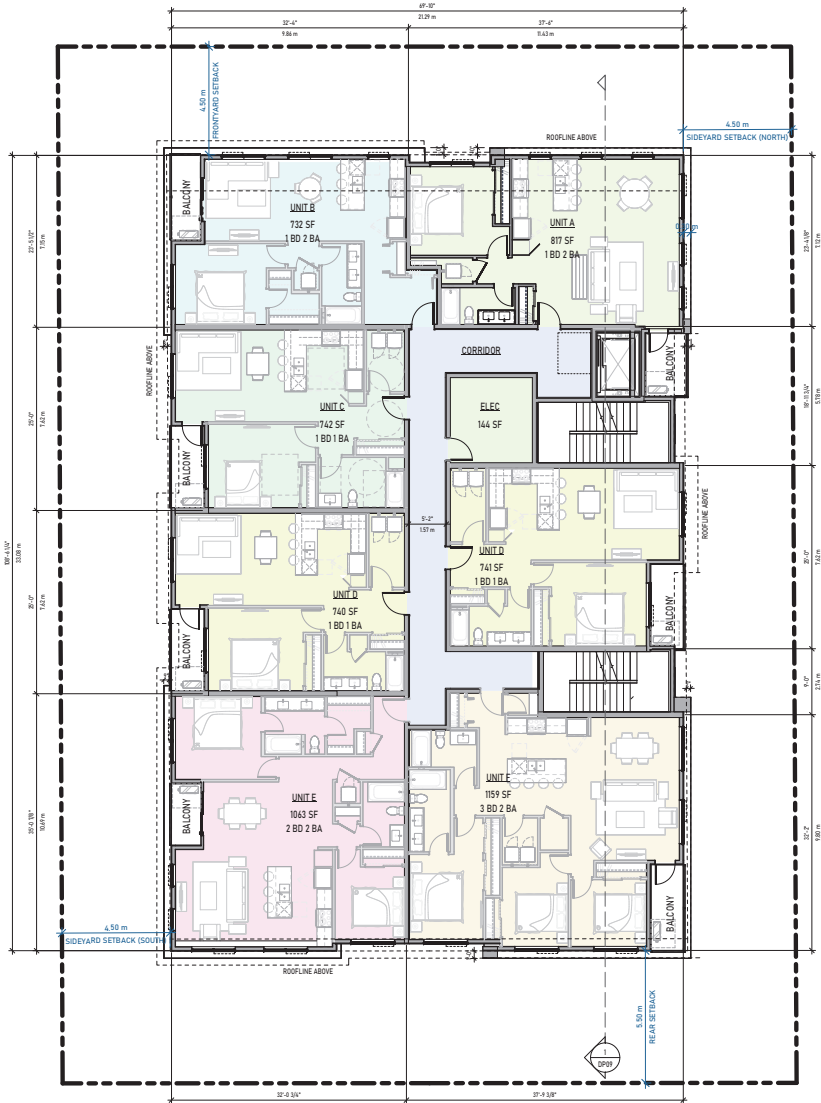
PROJECT NAME:
SEVENTH STREET CONDO

PROJECT ADDRESS:
8995 & 9899 SEVENTH STREET, SIDNEY, BC

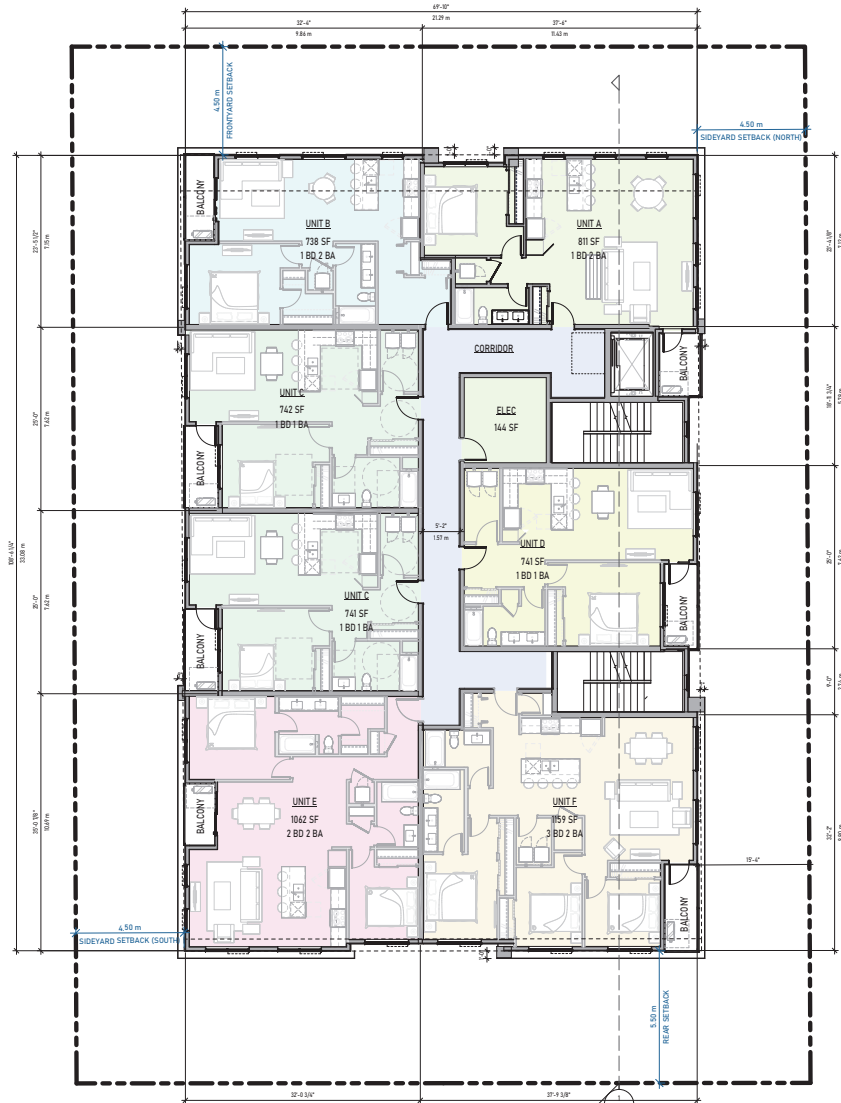
DRAWING TITLE:
FLOOR PLAN - LEVEL 1 & 2

PROJECT NO: 24016 DRAWN: JS / AS
 SCALE: REVIEWED: RP

DWG NO: **DP02**



1 FOURTH FLOOR PLAN
1/8" = 1'-0"



2 THIRD FLOOR PLAN
1/8" = 1'-0"

315-2840 Peach Road, Langford, BC, V9B 2V6
info@unionarchitect.ca
www.unionarchitect.ca

SEAL:



COPYRIGHT RESERVED
THIS DRAWING AND ALL CONTENTS
HEREON ARE THE SOLE AND EXCLUSIVE
PROPERTY OF UNION ARCHITECTURE
INC. ALL DIMENSIONS SHALL BE
REFERRED TO THE CONTRACT BEFORE
CONSTRUCTION BEGINS



NO.	ISSUED FOR:	DATE:
1	ISSUED FOR DEVELOPMENT PERMIT	2024-07-25
2	DEVELOPMENT PERMIT COMMENTS	2024-08-05
3	DEVELOPMENT PERMIT COMMITTEE COMMENTS (REV 0)	2024-08-04



PROJECT NAME:
SEVENTH STREET CONDO

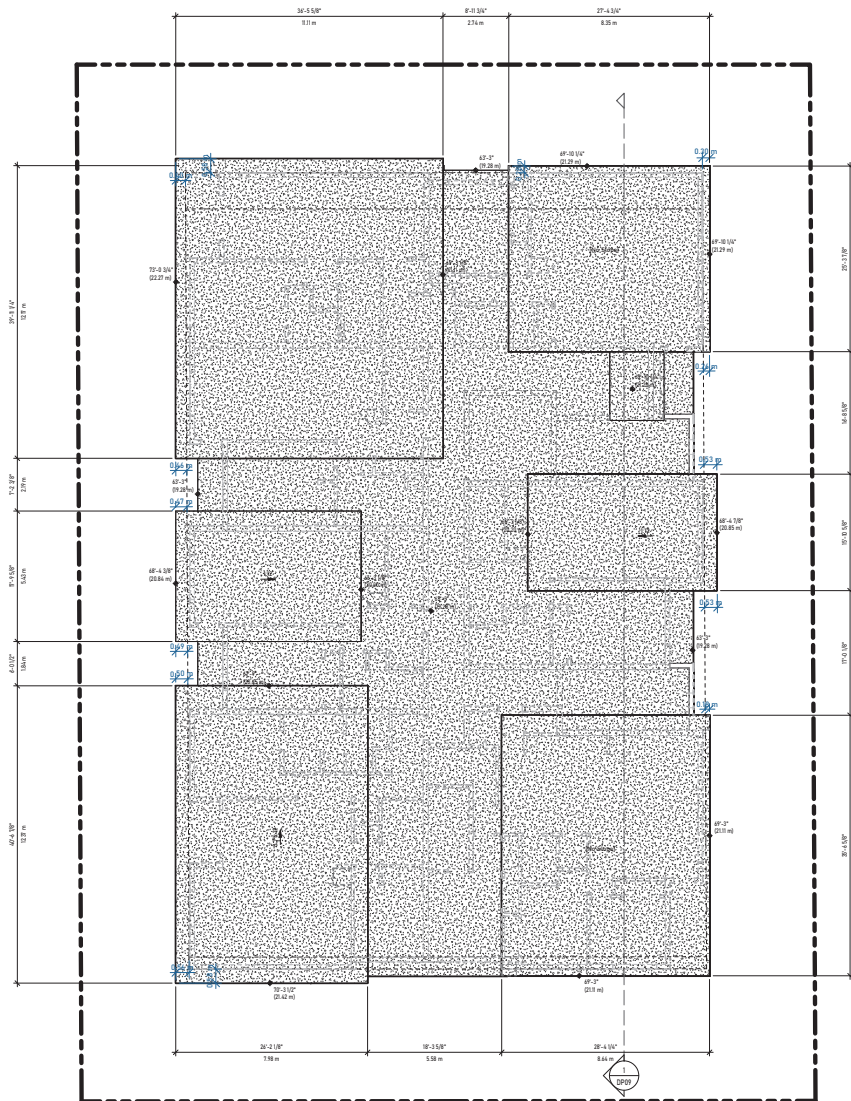
PROJECT ADDRESS:
9895 & 9899 SEVENTH STREET, SIDNEY, BC

DRAWING TITLE:
FLOOR PLAN - LEVEL 3 & 4

PROJECT NO: 24016 DRAWN: AS

SCALE: REVIEWED: RP

DWG NO: DP03



1 ROOF PLAN
1/8" = 1'-0"

UNION ARCHITECTURE

315-2840 Pault Road, Langford, BC, V9B 2V6
info@unionarchitect.ca
www.unionarchitect.ca

SEAL:



COPYRIGHT RESERVED
THIS DRAWING AND ALL CONTENTS
HEREON ARE THE SOLE AND EXCLUSIVE
PROPERTY OF UNION ARCHITECTURE
INC. ALL DIMENSIONS SHALL BE
REFERRED TO THE CONTRACT BEFORE
CONSTRUCTION BEGINS.



NO.	ISSUED FOR:	DATE:
1	ISSUED FOR DEVELOPMENT PERMIT	2024-07-05
2	DEVELOPMENT PERMIT COMMENTS	2024-08-05
3	DEVELOPMENT REVIEW COMMITTEE COMMENTS (REV 0)	2024-08-04



PROJECT NAME:
SEVENTH STREET CONDO

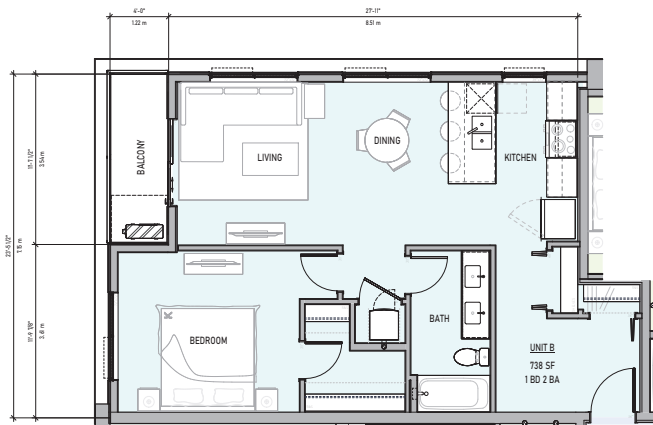
PROJECT ADDRESS:
9895 & 9899 SEVENTH STREET, SIDNEY, BC

DRAWING TITLE:
ROOF PLAN

PROJECT NO: 24016 | DRAWN: AS

SCALE: | REVIEWED: RP

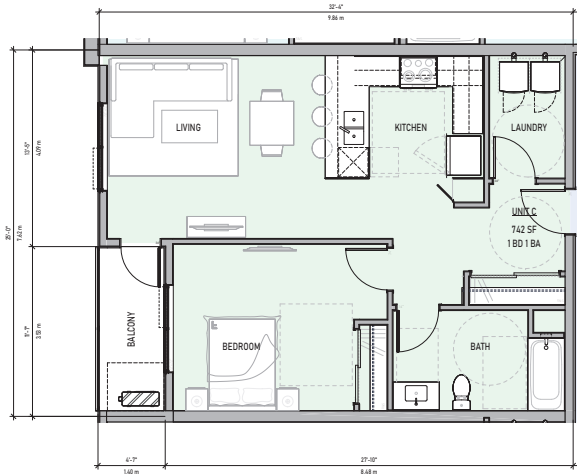
DWG NO: **DP04**



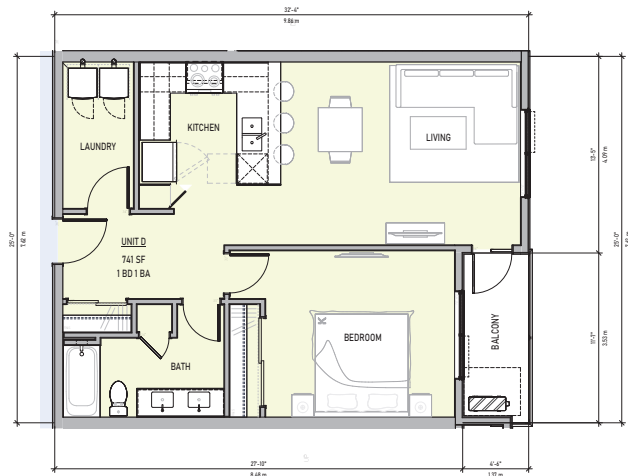
2 UNIT B - ONE BED, ONE BATH
10' x 11'-0"



1 UNIT A - ONE BED, ONE BATH
10' x 11'-0"



3 UNIT C (ADAPTABLE) - ONE BED, ONE BATH
10' x 11'-0"



4 UNIT D - ONE BED, ONE BATH
10' x 11'-0"

UNION ARCHITECTURE

315-2840 Packer Road, Langford, BC, V9B 2V6
info@unionarchitect.ca
www.unionarchitect.ca

SEAL:



COPYRIGHT RESERVED
THIS DRAWING IS THE PROPERTY OF UNION ARCHITECTURE INC. ALL DIMENSIONS SHALL BE REFERRED TO THE CONTRACT BEFORE COMMENCEMENT OF WORK.

NO.	ISSUED FOR:	DATE:
1	ISSUED FOR DEVELOPMENT PERMIT	2024-07-15
2	DEVELOPMENT PERMIT COMMENTS	2024-08-05
3	DEVELOPMENT PERMIT COMMITTEE COMMENTS (REV 0)	2024-08-24



PROJECT NAME:
SEVENTH STREET CONDO

PROJECT ADDRESS:
9895 & 9899 SEVENTH STREET, SIDNEY, BC

DRAWING TITLE:
UNIT PLANS

PROJECT NO: 24016 DRAWN: AS
SCALE: REVIEWED: RP

DWG NO: **DP05**

SEAL:



COPYRIGHT RESERVED
 THIS DRAWING AND ALL CONTENTS
 THEREON ARE THE SOLE AND EXCLUSIVE
 PROPERTY OF UNION ARCHITECTURE
 INC. ALL DIMENSIONS SHALL BE
 REFERRED TO THE CONTRACT BEFORE
 CONSTRUCTION BEGINS

NO.	ISSUED FOR:	DATE:
1	ISSUED FOR DEVELOPMENT PERMIT	2024-07-15
2	DEVELOPMENT PERMIT COMMENTS	2024-08-05
3	DEVELOPMENT PERMIT COMMITTEE COMMENTS (REV 0)	2024-08-04



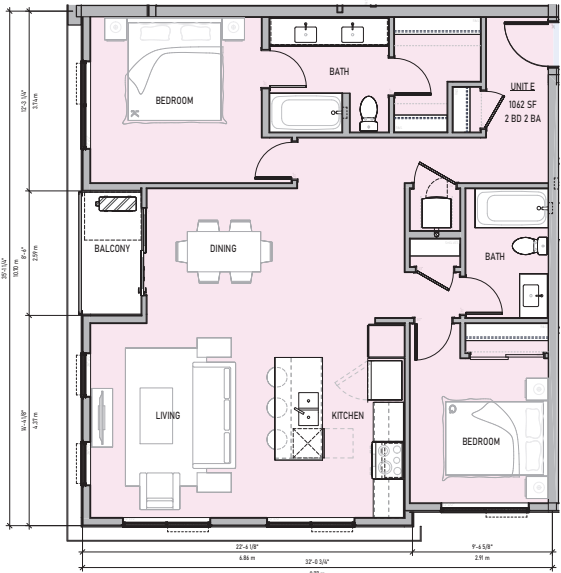
PROJECT NAME:
SEVENTH STREET CONDO

PROJECT ADDRESS:
9895 & 9899 SEVENTH STREET, SIDNEY, BC

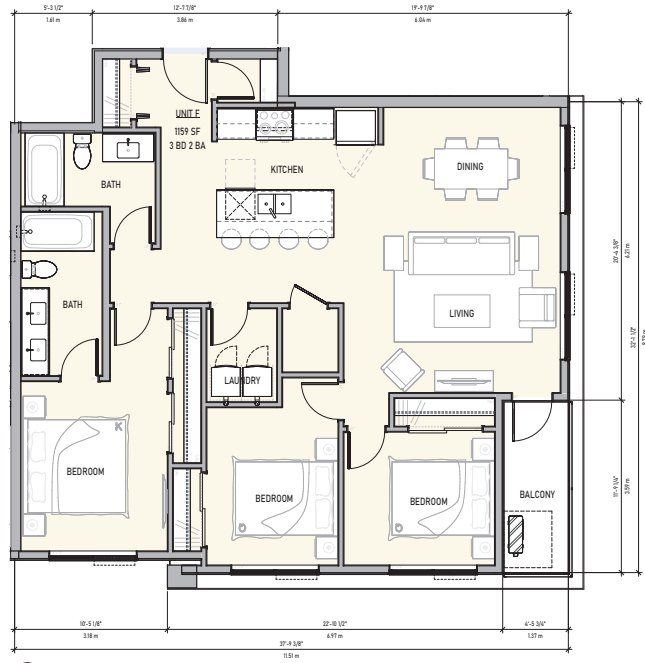
DRAWING TITLE:
UNIT PLANS

PROJECT NO:	24016	DRAWN:	AS
SCALE:		REVIEWED:	RP

DWG NO: **DP06**



2 UNIT E - 2 BED, 2 BATH
1042 SF



1 UNIT F - 3 BED, 2 BATH
1159 SF

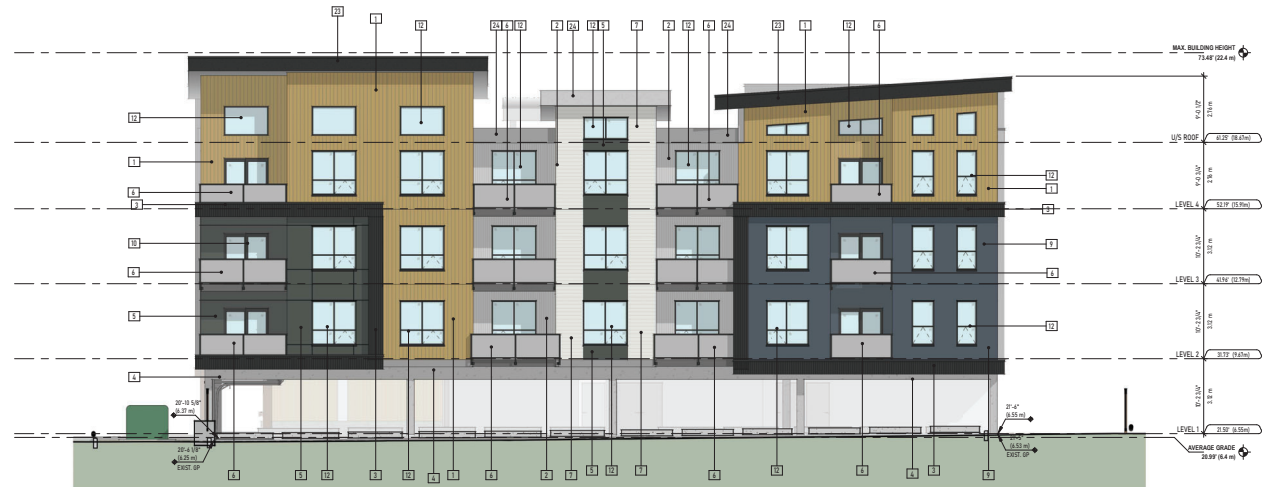
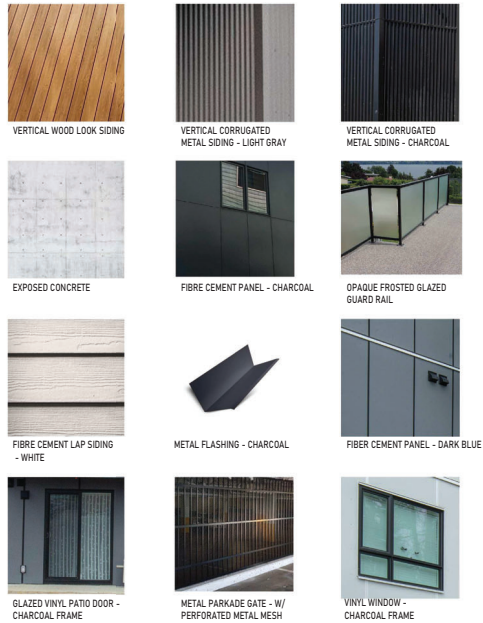


LEGEND OF FINISHES	
1	VERTICAL WOOD LOOK SIDING
2	VERTICAL CORRUGATED METAL SIDING - LIGHT GRAY
3	VERTICAL CORRUGATED METAL SIDING - CHARCOAL
4	EXPOSED CONCRETE
5	FIBRE CEMENT PANEL - CHARCOAL
6	OPAQUE FROSTED GLAZED GUARD RAIL
7	FIBRE CEMENT LAP SIDING - OFF-WHITE
8	FIBRE CEMENT PANEL - DARK BLUE
9	GLAZED VINYL PATIO DOOR - CHARCOAL FRAME
10	GLAZED VINYL WINDOW - CHARCOAL FRAME
11	FIBRE CEMENT PANEL TRIM - CHARCOAL
12	FIBRE CEMENT PANEL TRIM - LIGHT GRAY
13	WOOD FENCE
14	CULTURED STONE
15	WOOD STRUCTURE
16	HORIZONTAL WOOD LOOK SIDING
17	METAL PARKADE GATE W/ PERFORATED METAL MESH



1 WEST ELEVATION
1/8" = 1'-0"

3 (SD) 3D ORTHO 2 Copy 1



2 SOUTH ELEVATION
1/8" = 1'-0"

UNION
ARCHITECTURE

315-2840 Paull Road, Langford, BC, V9B 2V6
info@unionarchitect.com
www.unionarchitect.com

SEAL:



COPYRIGHT RESERVED
THIS DRAWING AND ALL COMPONENTS
HEREON ARE THE SOLE AND EXCLUSIVE
PROPERTY OF UNION ARCHITECTURE
INC. ALL DIMENSIONS SHALL BE
GIVEN UNLESS OTHERWISE SPECIFIED.
CONTACT US FOR MORE

NO.	ISSUED FOR:	DATE:
1	ISSUED FOR DEVELOPMENT PERMIT	2024-07-15
2	DEVELOPMENT PERMIT COMMENTS	2024-08-01
3	DEVELOPMENT REVIEW COMMITTEE COMMENTS (REV 0)	2024-08-04

JERRY WAKEFIELD
CONSTRUCTION INC.

PROJECT NAME:
SEVENTH STREET CONDO

PROJECT ADDRESS:
9895 & 9899 SEVENTH STREET, SIDNEY, BC

DRAWING TITLE:
ELEVATIONS - NORTH & EAST

PROJECT NO: 24016 DRAWN: JS
SCALE: REVIEWED: RP

DWG NO: DP07

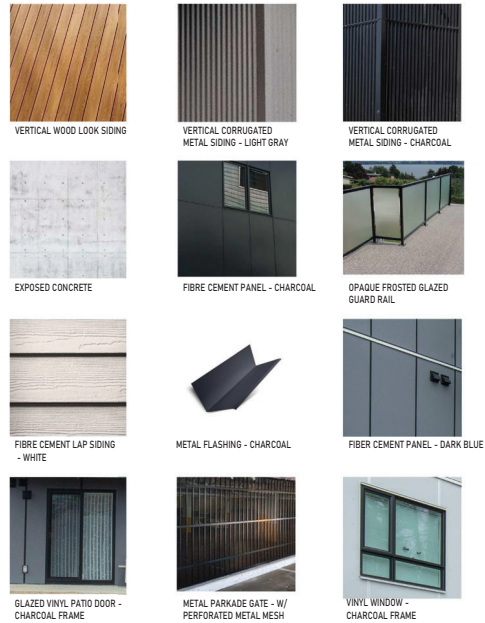


LEGEND OF FINISHES	
1	VERTICAL WOOD LOOK SIDING
2	VERTICAL CORRUGATED METAL SIDING - LIGHT GRAY
3	VERTICAL CORRUGATED METAL SIDING - CHARCOAL
4	EXPOSED CONCRETE
5	FIBRE CEMENT PANEL - CHARCOAL
6	OPAQUE FROSTED GLAZED GUARD RAIL
7	FIBRE CEMENT LAP SIDING - OFF-WHITE
9	FIBRE CEMENT PANEL - DARK BLUE
10	GLAZED VINYL PATIO DOOR - CHARCOAL FRAME
12	GLAZED VINYL WINDOW - CHARCOAL FRAME
23	FIBRE CEMENT PANEL TRIM - CHARCOAL
24	FIBRE CEMENT PANEL TRIM - LIGHT GRAY
25	WOOD FENCE
26	CULTURED STONE
27	EXPOSED WOOD STRUCTURE
28	HORIZONTAL WOOD LOOK SIDING
30	METAL PARKADE GATE W/ PERFORATED METAL MESH



2 EAST ELEVATION
18'-1.5"

3 (ISO) 3D ORTHO 2 Copy 1 Copy 1



1 NORTH ELEVATION
18'-1.5"

UNION
ARCHITECTURE

315-2840 Paull Road, Langford, BC, V9B 2V6
info@unionarchitect.ca
www.unionarchitect.ca

SEAL:



COPYRIGHT RESERVED
THIS DRAWING IS THE PROPERTY OF UNION ARCHITECTURE INC. ALL DIMENSIONS SHALL BE REFERRED TO THE CONTRACT BEFORE COMMENCEMENT OF WORK.

NO.	ISSUED FOR:	DATE:
1	ISSUED FOR DEVELOPMENT PERMIT	2024-07-25
2	DEVELOPMENT PERMIT COMMENTS	2024-08-05
3	DEVELOPMENT REVIEW COMMITTEE COMMENTS (REV 0)	2024-08-04

JERRY WAKEFIELD
CONSTRUCTION INC.

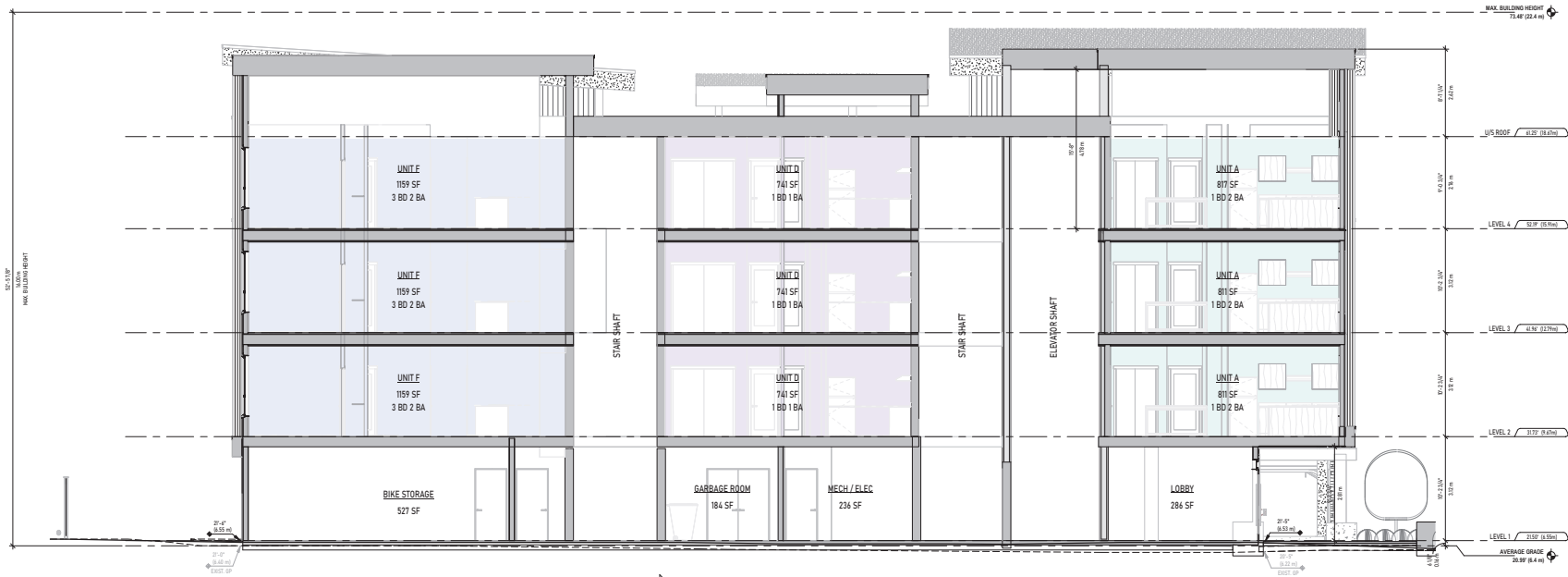
PROJECT NAME:
SEVENTH STREET CONDO

PROJECT ADDRESS:
9895 & 9899 SEVENTH STREET, SIDNEY, BC

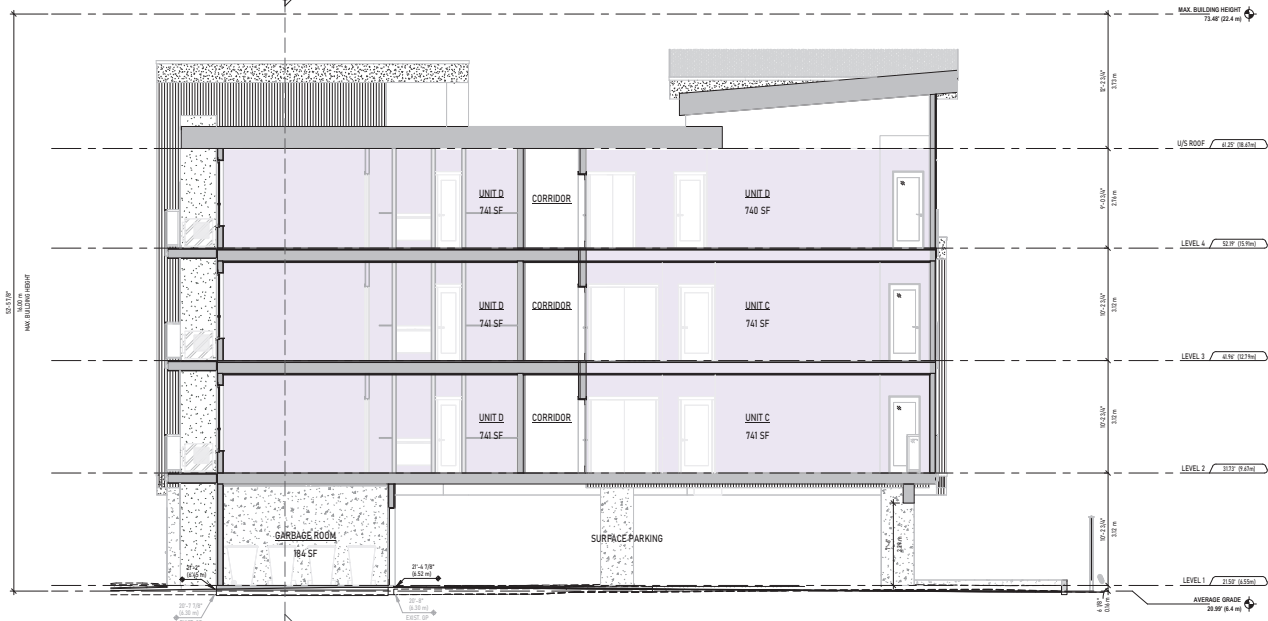
DRAWING TITLE:
ELEVATIONS - SOUTH & WEST

PROJECT NO: 24016 DRAWN: JS
SCALE: REVIEWED: RP

DWG NO: DP08



1 BUILDING SECTION 1
3/4" = 1'-0"



2 BUILDING SECTION 2
3/4" = 1'-0"

UNION
ARCHITECTURE

315-2840 Pault Road, Langford, BC, V9B 3V6
info@unionarchitects.ca
www.unionarchitects.ca

SEAL:



COPYRIGHT RESERVED
THIS DRAWING AND ALL CONTENTS
HEREON ARE THE SOLE AND EXCLUSIVE
PROPERTY OF UNION ARCHITECTURE
INC. ALL OTHERS SHALL BE
NOTIFIED BY THE COPYRIGHT OWNER
EXCEPT AS NOTED

NO.	ISSUED FOR:	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2024-07-15
2	DEVELOPMENT PERMIT COMMENTS	2024-08-01
3	DEVELOPMENT REVIEW COMMITTEE COMMENTS (REV 0)	2024-08-04

JERRY WAKEFIELD
CONSTRUCTION Inc.

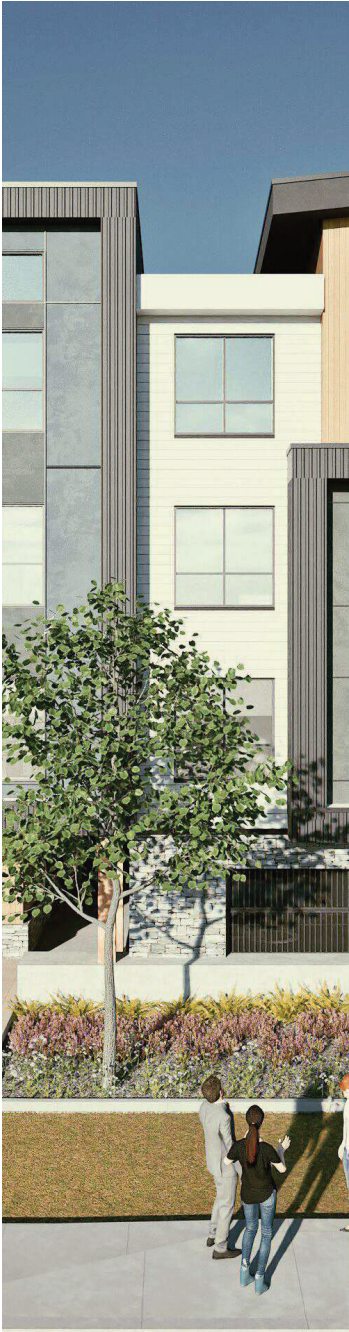
PROJECT NAME:
SEVENTH STREET CONDO

PROJECT ADDRESS:
9895 & 9899 SEVENTH STREET, SIDNEY, BC

DRAWING TITLE:
BUILDING SECTIONS

PROJECT NO: 24016	DRAWN: AS
SCALE:	REVIEWED: RP

DWG NO: **DP09**



UNION

ARCHITECTURE

315-2840 Paus Road, Langford, BC, V9B 2V6
info@unionarchitect.ca
www.unionarchitect.ca

SEAL:

COPYRIGHT RESERVED
THIS DRAWING AND ALL CONTENTS
HEREIN ARE THE SOLE AND EXCLUSIVE
PROPERTY OF UNION ARCHITECTURE
INC. ALL OTHERS SHALL BE
NOTIFIED BY THE COPYRIGHT OWNER
EXCEPT AS NOTED

NO.	ISSUED FOR:	DATE:
1	ISSUED FOR DEVELOPMENT PERMIT	2024-07-25
2	DEVELOPMENT PERMIT COMMENTS	2024-08-05
3	DEVELOPMENT REVIEW COMMITTEE COMMENTS (REV 0)	2024-08-24

**JERRY WAKEFIELD
CONSTRUCTION INC.**

PROJECT NAME:
SEVENTH STREET CONDO

PROJECT ADDRESS:
9895 & 9899 SEVENTH STREET, SIDNEY, BC

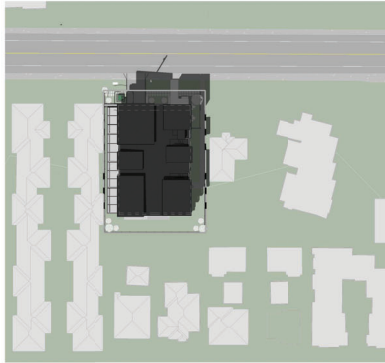
DRAWING TITLE:
RENDERINGS

PROJECT NO: 24016	DRAWN: -
SCALE:	REVIEWED: -

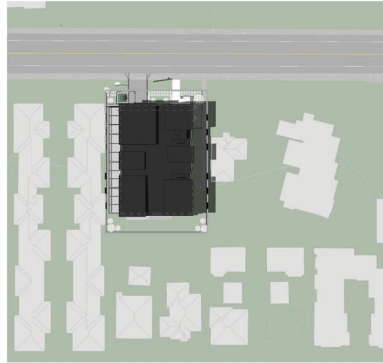
DWG NO: DP10

MCH 9 (24/2021) PLOT DATE: 2024-08-05 10:58:18 AM

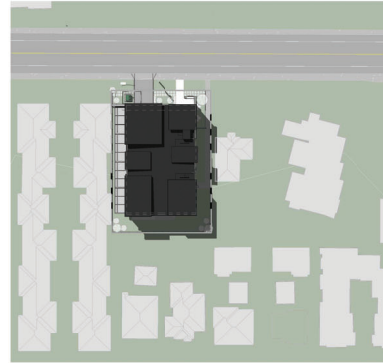
SUMMER SOLSTICE



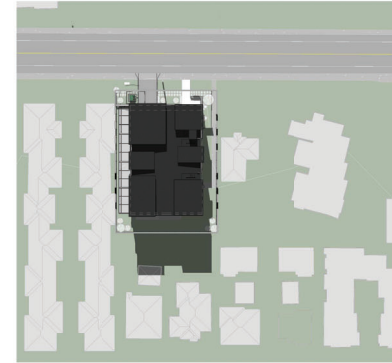
11
A301
SHADOW STUDY - SUMMER SOLSTICE - 10AM
1:100



5
A301
SHADOW STUDY - SUMMER SOLSTICE - 12PM
1:100



9
A301
SHADOW STUDY - SUMMER SOLSTICE - 2PM
1:100

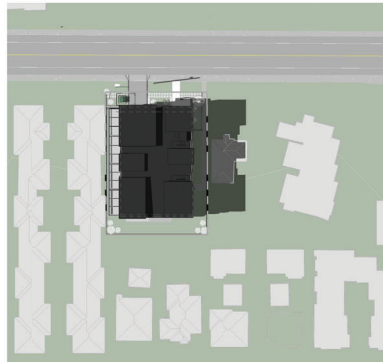


10
A301
SHADOW STUDY - SUMMER SOLSTICE - 4PM
1:100

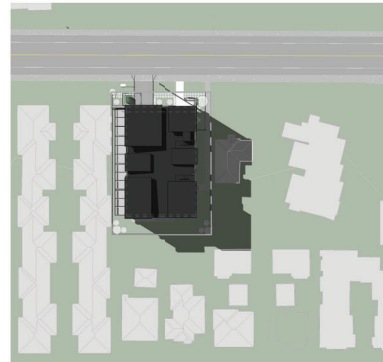
FALL / SPRING EQUINOX



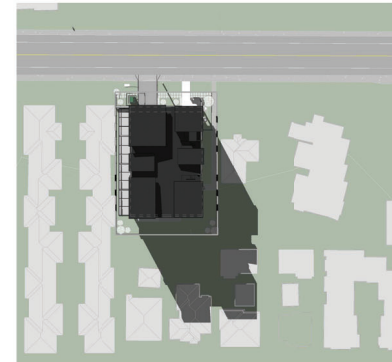
3
A301
SHADOW STUDY - FALL / SPRING EQUINOX - 10AM
1:100



4
A301
SHADOW STUDY - FALL / SPRING EQUINOX - 12PM
1:100

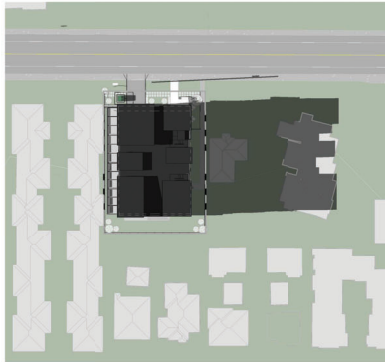


1
A301
SHADOW STUDY - FALL / SPRING EQUINOX - 2PM
1:100

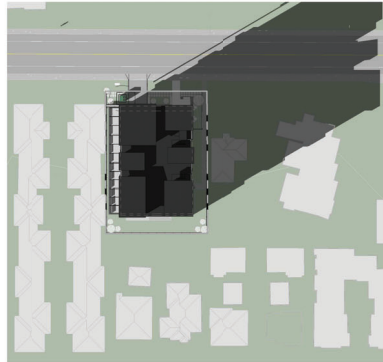


2
A301
SHADOW STUDY - FALL / SPRING EQUINOX - 4PM
1:100

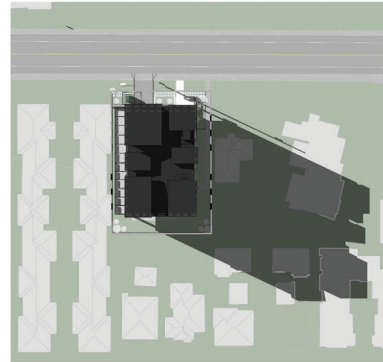
WINTER SOLSTICE



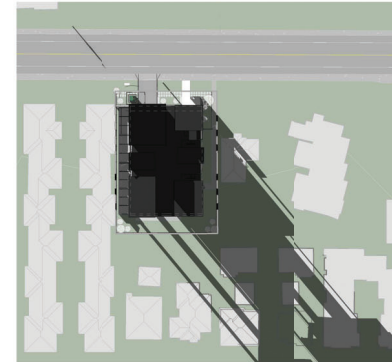
12
A301
SHADOW STUDY - WINTER SOLSTICE - 12PM
1:100



8
A301
SHADOW STUDY - WINTER SOLSTICE - 10AM
1:100



4
A301
SHADOW STUDY - WINTER SOLSTICE - 2PM
1:100



7
A301
SHADOW STUDY - WINTER SOLSTICE - 4PM
1:100

UNION
ARCHITECTURE

315-2840 Pault Road, Langford, BC, V9B 2V6
info@unionarchitect.ca
www.unionarchitect.ca

SEAL:



COPYRIGHT RESERVED
THIS DRAWING AND ALL CONTENTS
HEREON ARE THE SOLE AND EXCLUSIVE
PROPERTY OF UNION ARCHITECTURE
INC. ALL DIMENSIONS SHALL BE
NOTED ON THE DRAWING BEFORE
CONSTRUCTION BEGINS

NO.	ISSUED FOR:	DATE:
1	ISSUED FOR DEVELOPMENT PERMIT	2024-07-15
2	DEVELOPMENT PERMIT COMMENTS	2024-08-05
3	DEVELOPMENT REVIEW COMMITTEE COMMENTS (REV 0)	2024-08-24

JERRY WAKEFIELD
CONSTRUCTION INC.

PROJECT NAME:
SEVENTH STREET CONDO

PROJECT ADDRESS:
9895 & 9899 SEVENTH STREET, SIDNEY, BC

DRAWING TITLE:
SHADOW STUDY

PROJECT NO:	24016	DRAWN:	-
SCALE:		REVIEWED:	-

DWG NO: **DP11**

SEAL:



COPYRIGHT RESERVED
THIS DRAWING IS THE PROPERTY OF UNION ARCHITECTURE INC. ALL INFORMATION SHALL BE KEPT IN THE CONFIDENTIAL RECORDS OF THE FIRM.

NO.	ISSUED FOR:	DATE:
1	ISSUED FOR DEVELOPMENT PERMIT	2024-07-15
2	DEVELOPMENT PERMIT COMMENTS	2024-08-05
3	DEVELOPMENT REVIEW COMMITTEE COMMENTS (REV 0)	2024-08-04



PROJECT NAME:
SEVENTH STREET CONDO

PROJECT ADDRESS:
9895 & 9899 SEVENTH STREET, SIDNEY, BC

DRAWING TITLE:
EXISTING SURVEY

PROJECT NO: 24016	DRAWN: -
SCALE:	REVIEWED: -

DWG NO: **DP12**

Site Plan Of:
Lots 15 and 16, Block 4, Section 11, Ranges 3 and 4 East,
North Saanich District, Plan 1015.
P.I.D. 004-155-238
P.I.D. 008-108-536



Scale = 1:200

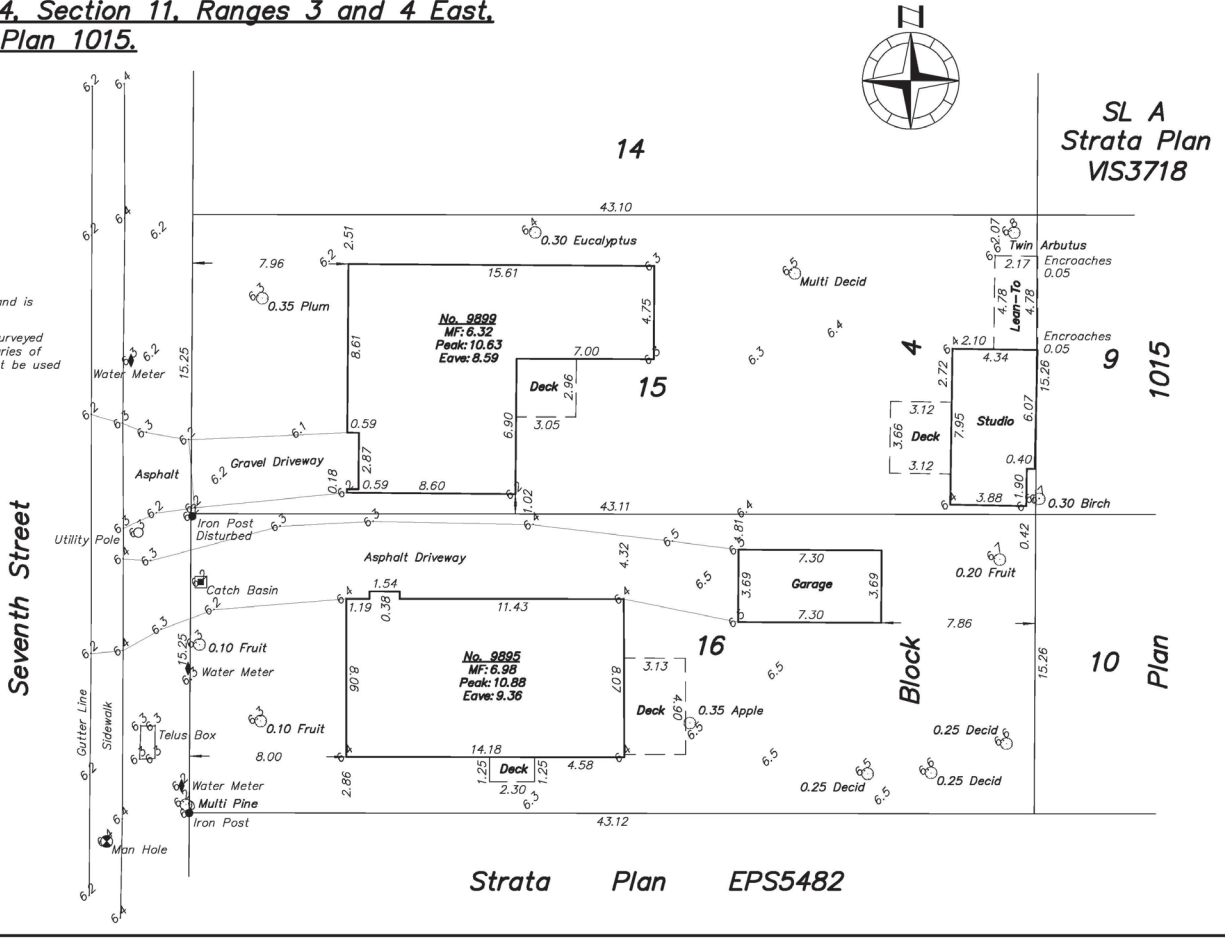
Dated this 10th day of June, 2017.

Distances and elevations shown are in metres.

Elevations are based on geodetic datum CVD28BC and derived from OCM 79H0514.

This site plan is for building and design purposes and is for the exclusive use of our client.

This document shows the relative location of the surveyed structures and features with respect to the boundaries of the parcel described above. This document shall not be used to define property lines or property corners.



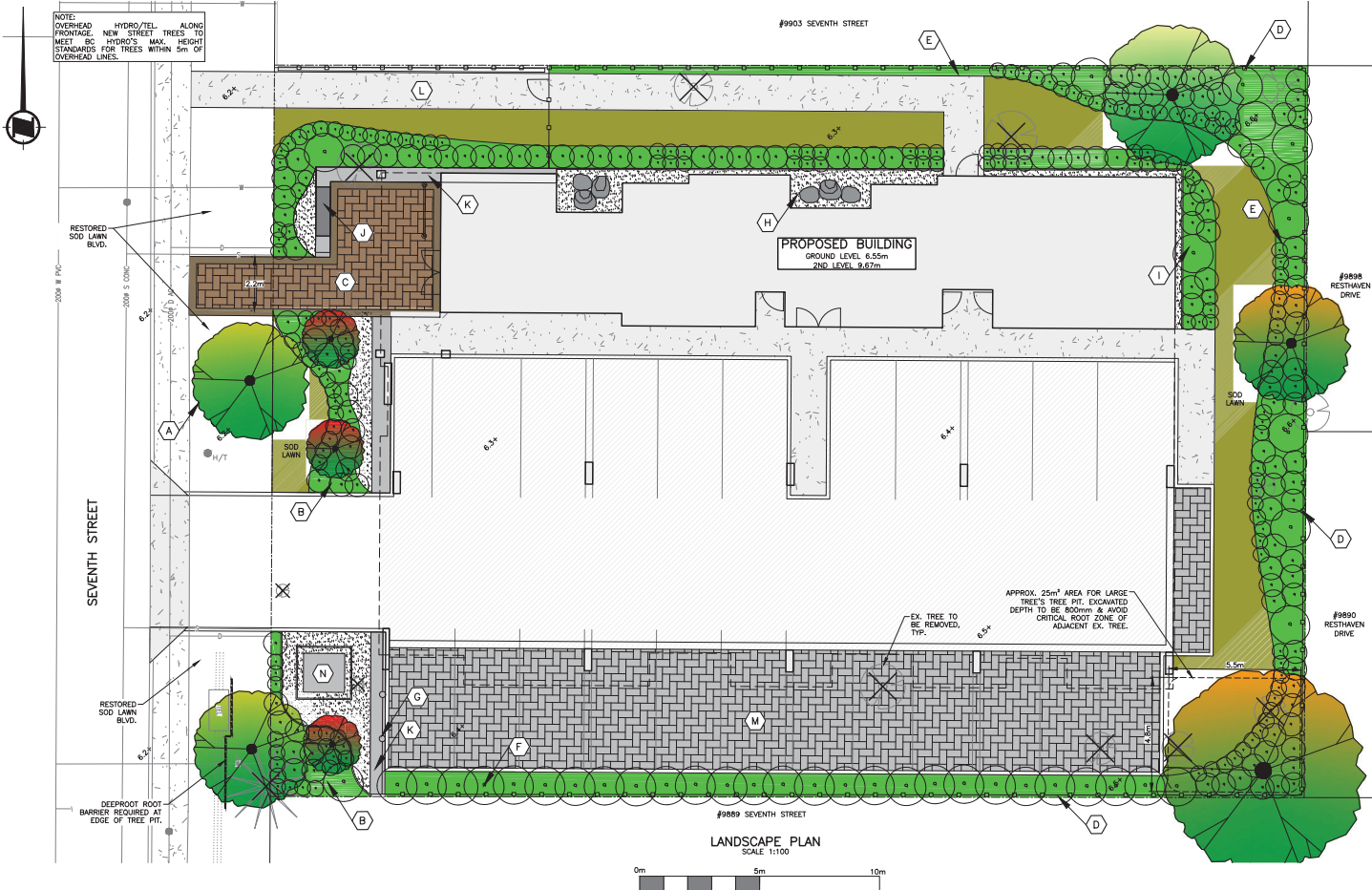
Wey Mayenburg Land Surveying Inc.
www.weysurveys.com
#4-2227 James White Boulevard
Sidney, BC V8L 1Z5
Telephone (250) 656-5155
File: 220077\Sit\LE

EXISTING SURVEY (BY OTHERS) NOT TO SCALE

Strata Plan EPS5482

**SL A
Strata Plan
VS3718**

CALID SERVICES LTD. PREPARED THIS DRAWING FOR THE LISTED CLIENT ONLY AND ACCEPTS NO RESPONSIBILITY FOR THIRD PARTY USE.



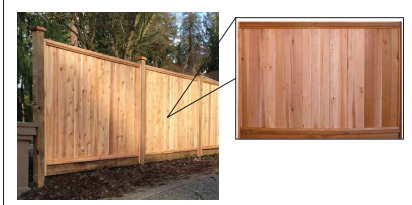
- ### GENERAL NOTES
1. ALL PLANTING, TREE PIT SOIL VOLUMES, CONSTRUCTION, AND MATERIALS TO BE IN ACCORDANCE WITH TOWN OF SIDNEY SPECIFICATIONS AND STANDARD DRAWINGS, MMCD SPECIFICATIONS AND BC NURSERY TRADES. ALL LANDSCAPING WORK TO BE REVIEWED BY CALID SERVICES LTD.
 2. ALL OFFSITE AREAS AFFECTED BY THE WORK ARE TO BE RESTORED TO ORIGINAL OR BETTER CONDITION BY CONTRACTOR AND COMPLETED IN PROMPT MANNER TO MINIMIZE LOCAL DISRUPTION.
 3. CONTRACTOR TO ENSURE POSITIVE DRAINAGE OF ALL LAWNS AND PLANTING AREAS TO AN APPROVED OUTLET. MINIMUM GRADE TO BE 2.5%.
 4. CONTRACTOR TO CONFIRM LOCATION OF AND COORDINATE WITH APPLICABLE UTILITIES PRIOR TO INSTALLATION OF ANY OF THE LANDSCAPE WORKS.
 5. CONTRACTOR TO BE REGISTERED WITH WORK SAFE BC AND ALL WORK TO BE CONDUCTED UNDER WORK SAFE BC REGULATIONS AND WORK AREAS TO BE PROTECTED BY APPROVED HOOD CONSTRUCTION FENCING.
 6. EXISTING UNDERGROUND SERVICES ARE SHOWN SCHEMATICALLY ON THIS DRAWING. CONTRACTOR TO CONFIRM THE LOCATION OF ANY UNDERGROUND SERVICES AND COORDINATE WITH APPLICABLE UTILITIES PRIOR TO ANY DRAINAGE WORKS.
 7. FOR ANY AMBIGUITIES IN SPECIFICATIONS THE MOST CONSERVATIVE/ROBUST SPECIFICATIONS SHALL GOVERN.
 8. CONTRACTOR TO NOTIFY CALID SERVICES LTD. IMMEDIATELY OF ANY CONFLICTS OR DISCREPANCIES.
 9. AUTOMATIC IRRIGATION SYSTEM REQUIRED FOR ALL PLANTING AREAS, SOD LAWNS & TREES.
 10. IRRIGATION REQUIREMENTS FOR MUNICIPAL SOD LAWN BOULEVARD & STREET TREES TO BE PROVIDED BY TOWN OF SIDNEY. POINT OF CONNECTION FOR MUNICIPAL IRRIGATION SYSTEM TO BE REVIEWED WITH SIDNEY STAFF.
 11. WELL-SORTED, HIGH ORGANIC CONTENT, LOW WOOD CONTENT MULCH TO BE APPLIED TO PLANTING BEDS AFTER FINISHED GRADING IS APPROVED AND PLANTING COMPLETE. MULCH TO BE FREE OF CHUNKS, STICKS, SOIL, STONES, ROOTS, ETC. LANDSCAPE CONTRACTOR TO ENSURE MINIMUM BARK MULCH DEPTH OF 50mm AFTER SETTLEMENT. 1.2m² MULCH RINGS REQUIRED FOR ALL TREES IN LAWN AREAS.
 12. CONTRACTOR TO ERECT TREE PROTECTION FENCING TO TOWN OF SIDNEY STANDARDS AT ALL TREES TO BE RETAINED PRIOR TO ANY SITE WORK.

- ### IRRIGATION NOTES
1. IRRIGATION SYSTEMS TO MEET MMCD, TOWN OF SIDNEY IRRIGATION STANDARDS, AND IABC STANDARDS. IRRIGATION CONTRACTOR TO INSTALL IRRIGATION SYSTEM TO ALL APPLICABLE PLUMBING REGULATIONS.
 2. PRIVATE ONSITE IRRIGATION P.O.C., TIMER & METER TO BE LOCATED WITHIN BUILDING MECHANICAL ROOM.
 3. SOD LAWN AREAS, TREES AND PLANTING AREAS TO BE IRRIGATED. SOD LAWN TO HAVE A MICROSPRAY IRRIGATION SYSTEM WITH HEAD TO HEAD COVERAGE. PLANTING BEDS TO BE IRRIGATED WITH DRIP IRRIGATION. TREES TO HAVE TWO EMITTER LOOPS PER TREE.
 4. IRRIGATION SYSTEM TO BE DESIGNED BY AN IRRIGATION DESIGNER CERTIFIED BY IABC OR IA. SHOP DRAWINGS TO BE PROVIDED TO CALID SERVICES LTD. FOR REVIEW.
 5. ALL IRRIGATION COMPONENTS AND INSTALLATION TO COMPLY WITH MMCD AND IABC STANDARDS FOR LANDSCAPE IRRIGATION SYSTEMS. SYSTEM TO INCLUDE FLOW SENSOR, CENTRAL SHUT-OFF VALVE, AND METER. PRESSURE REGULATING DEVICE AND MOISTURE SENSOR/RAIN DELAY CONTROLLER ALSO REQUIRED.
 6. IRRIGATION SYSTEM TO HAVE A DYNAMIC OPERATING PRESSURE BETWEEN 50 TO 90 psi.
 7. IRRIGATION CONTRACTOR TO ENSURE ALL CRITICAL POINTS (CORNERS, EDGES, TIGHT CONTOURS, ETC) RECEIVE FULL COVERAGE.
 8. IRRIGATION CONTRACTOR TO LOCATE ALL UNDERGROUND SERVICES PRIOR TO COMMENCING WORK.
 9. IRRIGATION SYSTEM TEST TO BE WITNESSED BY CALID SERVICES LTD. CONTRACTOR TO PROVIDE 48 HOUR NOTICE FOR REVIEW.
 10. IRRIGATION CONTRACTOR TO GUARANTEE WORK AND MATERIALS FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
 11. IRRIGATION CONTRACTOR TO PROVIDE AS-BUILT DRAWINGS AND ZONE MAPS TO DEVELOPER.
 12. 150mm DIAM. PVC IRRIGATION SLEEVES REQUIRED AT PLANTER WALLS, SIDEWALKS, DRIVEWAYS, ETC. TO ENSURE ALL PLANTING AREAS MAY BE SERVICED BY SITE IRRIGATION SYSTEM. FAILURE BY CONTRACTOR TO PROVIDE IRRIGATION SLEEVES WILL RESULT IN WORK NEEDING TO BE REDONE AT CONTRACTOR'S EXPENSE. CONTRACTOR TO STAKE & LABEL ALL SLEEVES IN FIELD FOR IRRIGATION CONTRACTOR.
 13. IRRIGATION CONTRACTOR TO INCLUDE ONE WINTERIZATION AND SYSTEM START UP WHEN PRICING JOB. OPERATION MANUAL, AND RECOMMENDED TIMER SETTINGS TO BE PROVIDED BY IRRIGATION CONTRACTOR TO DEVELOPER.

KEY NOTES

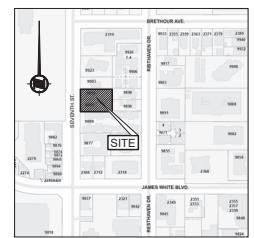
- A PROPOSED BOULEVARD TREE (KWANZAN CHERRY) IN SOD LAWN. 1.2m² MULCH RING REQUIRED. TYPICAL.
- B FRONTAGE FEATURE PLANTING C/W COLUMNAR TREES, SHRUBS, ORNAMENTAL GRASSES & PERENNIALS. RIVER ROCK CORBLE BORDER PROPOSED AT BUILDING.
- C BUILDING ENTRANCE C/W SPECIALTY UNIT PAVING & SEATING WALL. VISITOR BIKE RACK TO BE LOCKED UNDER BUILDING OVERHANG.
- D 1.8m HI. PERIMETER WOOD PANEL FENCE.
- E PERIMETER PLANTING AREA C/W ACCENT TREES, NATIVE SHRUBS & FLOWERING PERENNIALS.
- F EVERGREEN SCREEN HEDGE. HEDGING SHRUBS TO BE MIN. 1.2m HEIGHT WHEN PLANTED.
- G 1.2m HEIGHT WOOD FENCE ON WALL. WALL DESIGN BY OTHERS.
- H RIVER ROCK CORBLE BORDER C/W WEED BARRIER FABRIC & PLASTIC WOOD EDGER. 1.5m (APPROX.) LANDSCAPE BOULDER TO BE PLACED ALONG BORDER IN GROUPS OF THREE.
- I PLANTING BED AT BUILDING C/W SHADE TOLERANT SHRUBS.
- J PROJECT SIGN. DESIGN BY OTHERS.
- K LOW HEIGHT WALL. DESIGN BY OTHERS.
- L CONCRETE WALKWAY. DESIGN BY OTHERS.
- M PROP. PERMEABLE PAVER PARKING STALLS.
- N PROP. BC HYDRO PMT LOCATION. TO BE CONFIRMED BY DEVELOPER'S ELECTRICAL ENGINEER & BC HYDRO. CRUSHED ROCK GRAVEL REQUIRED AT PMT. NO PLANTING WITHIN 1.2m OF PMT AS PER BC HYDRO REQUIREMENTS. ANTI-GRAFFITI VINYL WRAP REQUIRED. IMAGE TO BE SELECTED BY DEVELOPER.

FENCE REFERENCE IMAGES



NOTES:
 1. PERIMETER FENCE TO BE 1.8m HEIGHT.
 2. FENCE ON WALL TO BE 1.2m HEIGHT.

FOR DEVELOPMENT
 PERMIT ONLY
 Not for Construction



KEY MAP
 NOT TO SCALE

Dwg. No.	REFERENCE DRAWINGS	DATE

LEGEND	
	PROP. DECIDUOUS TREE
	PROP. SHRUBS
	PROP. 1.8m PERIMETER WOOD FENCE
	PROP. 1.2m WOOD FENCE
	PROP. SEATING WALL (DESIGN BY OTHERS)
	PROP. SOD LAWN
	PROP. PLANTING BED
	PROP. BROOM FINISHED CONCRETE
	PROP. UNIT PAVING
	PROP. PERMEABLE PAVERS
	PROP. RIVER ROCK BORDER

REV.	DATE	REVISIONS	BY	APPROVED
3	OCT 04/24	EXIT WALKWAY CHANGED	DP	
2	SEP 26/24	TO SITE CHANGES & PMT LOCATION	DP	
1	SEP 05/24	FENCE INFO ADDED PER TOWN COMMENTS	DP	



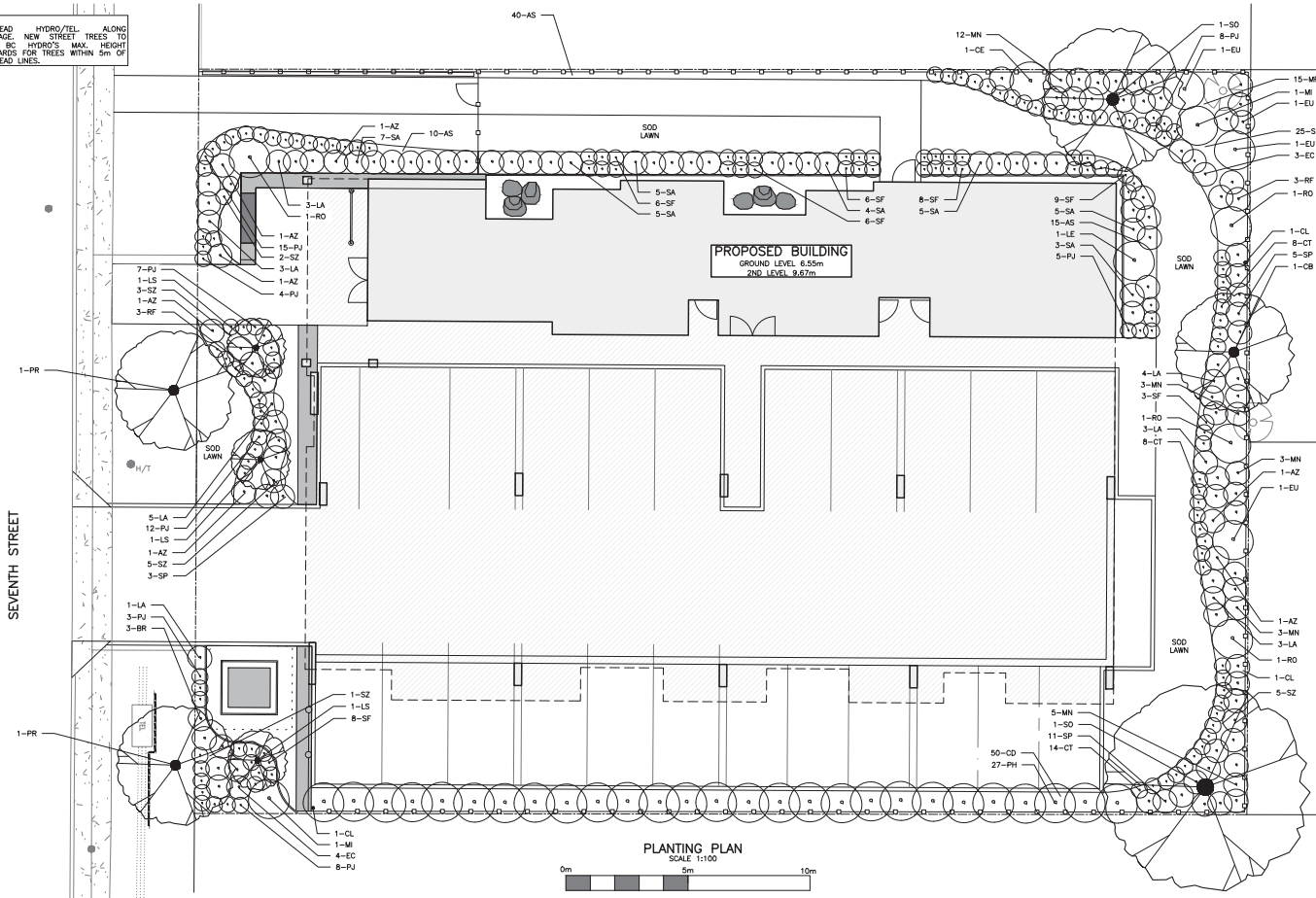
8985 & 9899 SEVENTH ST. CONDOS
 Landscape Plan & Notes
 Client: Jerry Wakefield Construction Inc.

Drawn	Date
	August 22, 2024
Checked	Project #
Approved	Scale
	as noted
Designed	dp

207-2750 QUADRA ST.
 VICTORIA, B.C. V8T 4E8
 PHONE: (250) 388-6919
 FAX: (250) 381-6919
 engineer@calid.com

CANCEL PRINTS BEARING EARLIER LETTER

NOTE: HYDRO/TEL ALONG FRONTAGE, NEW STREET TREES TO MEET BC HYDRO'S MAX. HEIGHT STANDARDS FOR TREES WITHIN 5m OF OVERHEAD LINES.



PLANTING NOTES

- CONTRACTOR TO STRIP ALL ORGANIC MATERIAL TO SPECIFIED LIMITS OF THE PLANTING AREAS AND STOCKPILE ANY SUITABLE MATERIAL FOR REUSE. EXCAVATED DEPTH FOR SHRUBS TO BE MIN. 600mm, DEPTH OF TREE PITS TO BE 800mm. (TREE PITS TO BE EXCAVATED AT SAME TIME AS ANY SERVICING/UTILITY TRENCHING IN AREA. BACKFILL WITH GROWING MEDIUM & STAKE TREE PIT LOCATIONS FOR LANDSCAPE CONTRACTOR).
- SCARIFY AREAS SHOWING EXCESSIVE COMPACTION AND SIDES AND BOTTOM OF TREE PITS.
- CONTRACTOR TO REMOVE AND DISPOSE OF OFF-SITE ALL DEBRIS AND UNUSABLE MATERIAL, ROOTS, STONES, ETC. THAT MAY INTERFERE WITH THE PROPER GROWTH OF THE FINISHED LANDSCAPING.
- GROWING MEDIUM TO MEET MMCD SPECIFICATION AND BC LANDSCAPE STANDARDS.
- GROWING MEDIUM DEPTH TO BE MIN. 150mm FOR SOD LAWN, 600mm FOR PLANTING AREAS AND 800mm FOR TREE PITS.
- IMPORTED TOPSOIL TO CONTAIN A MIN. OF 4% ORGANIC MATTER FOR CLAY LOAMS AND 2% ORGANIC MATTER FOR SAND LOAMS, TO A MAX. OF 20% VOLUME. SOIL TO BE FREE OF ROOTS, NOXIOUS WEEDS (GRASS, COUCHGRASS, HORSETAIL, SEEDS, ETC.), TOXIC MATERIALS, STONES OVER 100mm, OR FOREIGN OBJECTS. ACidity RANGE TO BE 5.5-7.5 pH. NATIVE TOPSOIL MAY BE USED PROVIDED IT MEETS STANDARDS SET FOR IMPORTED TOPSOIL.
- PLANTING OF TREES, SHRUBS AND GROUND COVERS TO CONFORM TO MMCD SECTION 02950 AND TOWN OF SIDNEY SPECIFICATIONS.
- LANDSCAPE CONTRACTOR TO ENSURE ALL MATERIALS AND PROCEDURES COMPLY WITH ACCEPTED LANDSCAPE PRACTICES. SPECIES SELECTION TO BE AS SPECIFIED. SUBSTITUTIONS WILL ONLY BE DONE WITH THE WRITTEN APPROVAL OF CALD SERVICES LTD.
- PLANT MATERIAL TO BE NURSERY GROWN STOCK AND COMPLY WITH BRITISH COLUMBIA STANDARD FOR CONTAINER GROWN PLANTS AND LANDSCAPE CANADA GUIDE SPECIFICATION FOR NURSERY STOCK. PLANTS TO BE TRUE TO NAME, TYPE AND FORM, AND BE REPRESENTATIVE OF THEIR SPECIES AND VARIETY. PLANTS TO BE OF GOOD HEALTH, PROPERLY PROPORTIONED, NOT WEAK, INJURED OR THIN.
- ARBORIST FABRIC TIES AS NOT TO DAMAGE THE TREE. STAKES TO BE 100mm. FABRIC TIES TO BE ARBORIST OR APPROVED EQUIV.
- LANDSCAPE CONTRACTOR TO GUARANTEE PLANT MATERIAL FOR THE STANDARD ONE (1) YEAR MAINTENANCE PERIOD.
- LANDSCAPE CONTRACTOR IS NOT RESPONSIBLE FOR PLANT LOSS DUE TO THEFT, VANDALISM, OR ANIMALS DURING THE MAINTENANCE PERIOD, OR FAILURE BY STRATA/OWNER TO OPERATE IRRIGATION SYSTEM IN ACCORDANCE TO IRRIGATION DESIGNER'S/IRRIGATION CONTRACTOR'S RECOMMENDED WATERING SCHEDULE.
- PRUNING OF TREES TO BE DONE BY A CERTIFIED ARBORIST.
- ALL TREE PITS SHALL BE INSPECTED BY CALD SERVICES LTD. PRIOR TO BACKFILLING.

Plant List	Code	Qty.	Size
Street Trees:			
Prunus serrulata 'Kwanzan' (Flowering Cherry)	PR	2	5cm Cal.
Site Trees:			
Acer rubrum 'October Glory' (Red Maple)	AC	1	5cm Cal.
Styrax 'Obbasia' (Fragrant Snowbell)	SO	2	5cm Cal.
Carpinus betulus 'Frans Fontaine' (Columnar Hornbeam)	CB	1	5cm Cal.
Liquidambar styraciflua 'Slender Silhouette' (Columnar Sweetgum)	LS	3	5cm Cal.
Hedge:			
Photinia x fraseri (Fraser Photinia)	PH	27	1.2m Ht.
Native Shrubs:			
Ceanothus (California Lilac)	CE	1	#3 Pot.
Mahonia nervosa (Cascade Oregon Grape)	MN	27	#2 Pot.
Mahonia repens (Creeping Oregon Grape)	MR	15	#1 Pot.
Polystichum munitum (Sword Fern)	SF	91	#2 Pot.
Vines & Groundcover:			
Clematis armandi (Evergreen Clematis)	CL	3	#1 Pot.
Cotoneaster dammeri 'Coral Beauty' (Creeping Cotoneaster)	CD	50	#1 Pot.
Ornamental Shrubs, Grasses & Perennials:			
Astilbe chinensis (Chinese Astilbe)	AS	65	#1 Pot.
Azalea japonica 'Nino White' (White Evergreen Azalea)	AZ	7	#3 Pot.
Berberis thunbergii 'Rose Glow' (Barberry)	BR	3	#3 Pot.
Carex testacea 'Orange Flame' (Sedge)	CT	30	#2 Pot.
Echinacea (Purple Coneflower)	EC	6	#2 Pot.
Euonymus alata 'Ruby Haag' (Winged Burning Bush)	EU	5	#3 Pot.
Lavandula angustifolia 'Hidcote Giant' (English Lavender)	LA	22	#3 Pot.
Leucocoea fontanensis (Rainbow Fothergill)	LE	1	#3 Pot.
Miscanthus sinensis 'Adagio' (Dwarf Maiden Grass)	MI	2	#3 Pot.
Pieris japonica 'Cavatine' (Dwarf Lily-of-the-Valley)	PJ	63	#1 Pot.
Rhododendron 'Percy Wiseman' (Rhododendron)	RO	4	#5 Pot.
Rudbeckia fulgida 'Goldsturm' (Black-eyed Susan)	RF	3	#2 Pot.
Sarcococca humilis (Sweetbox)	SA	35	#3 Pot.
Shizocypis coccinea (Crimson Flag Lily)	SZ	15	#1 Pot.
Spirea japonica 'Double Play Pink' (Japanese Spirea)	SP	19	#2 Pot.

- Notes:
- Planting areas to be irrigated with an automatic drip irrigation system.
 - Changes to plant size, quantity, or type to be reviewed & approved in writing by Cald Services Ltd.
 - Landscape contractor to allow for 25 additional #1 size pot plants when pricing the job.
 - Vines to be trained up fences. Contractor to provide trellis support for young vines.

FOR DEVELOPMENT
PERMIT ONLY
Not for Construction

Dwg. No.	REFERENCE DRAWINGS	DATE

LEGEND

	PROP. DECIDUOUS TREE		PROP. 1.8m PERIMETER WOOD FENCE
	PROP. SHRUBS		PROP. 1.2m WOOD FENCE
	PROP. SEATING WALL (DESIGN BY OTHERS)		PROP. SEATING WALL (DESIGN BY OTHERS)

REV.	DATE	REVISIONS	BY	APPROVED
3	OCT 04/24	EXIT WALKWAY CHANGED	DP	
2	SEP 26/24	TO SITE CHANGES & PMT LOCATION	DP	
1	SEP 05/24	FENCE INFO ADDED PER TOWN COMMENTS	DP	



9895 & 9899 SEVENTH ST. CONDOS
Planting Plan & Notes
Client: Jerry Wakefield Construction Inc.

Drawn by: [Signature] Date: August 22, 2024
Checked by: [Signature] Project #:
Approved by: [Signature] Scale: as noted
Designed by: [Signature]

CALID Services Ltd.
207-2750 QUADRA ST. VICTORIA, B.C. V8T 4E8
PHONE: (250) 388-6919 FAX: (250) 381-6919
engine@calid.com

Rev. L2 3

CANCEL PRINTS BEARING EARLIER LETTER