

PROJECT STATISTICS SEVENTH STREET

SITE INFORMATION		EXISTING		REQUIRED		PROPOSED	
CIVIC ADDRESS	9895 & 9899 SEVENTH STREET, SIDNEY, BC						
SITE AREA	1378 m ²	14,539 SF					
ZONING	RM7		RM7		RM7		
FLOOR AREA RATIO (FAR)		1.3 (Max 0.80 Max)		1.51			
SITE COVERAGE		55.0% (Max)		47.8%			
PARKING COVERAGE (LOT)		50.0% (Max)		48.3%			
PARKING AREA VS FIRST STORY G.A.		40.0% (Max)		49.8%			
ADAPTABLE UNITS		70.0% (Min)		100.0%			
1 BED UNITS		10.0% (Min)		14.3%			
50% OF REQUIRED 1 BED ON FIRST OR SECOND STOREY				2 (Unit)			
NUMBER OF STOREYS	4 Storeys (Max)						
BUILDING HEIGHT		16.00 m (Max)	17.47' (Max)	15.72 m	51.72'		
NETWORKS	FRONT (WEST)	4.00 m (Max)	13.00' (Max)	4.00m	13.00'		
	REAR (EAST)	4.00 m (Max)	13.00' (Max)	4.00m	13.00'		
	SIDE (SOUTH)	4.50 m (Max)	14.76' (Max)	4.50m	14.76'		
	SIDE (NORTH)	4.50 m (Max)	14.76' (Max)	4.50m	14.76'		
BUILDING DATA							
MULTIFAMILY UNITS	DESCRIPTION	# OF UNITS	AREA	TOTAL AREA			
UNIT A (Adaptable)	3BR-1BA+TH	3	76 m ²	807 SF	273 m ²	2,883 SF	
UNIT B (Adaptable)	3BR-1BA+TH	3	68 m ²	724 SF	255 m ²	2,592 SF	
UNIT C (Adaptable)	3BR-1BA+TH	9	66 m ²	685 SF	573 m ²	4,165 SF	
UNIT E (Adaptable)	2BR-1BA+TH	3	91 m ²	984 SF	274 m ²	2,992 SF	
UNIT F (Adaptable)	3BR-1BA+TH	3	108 m ²	1,093 SF	311 m ²	3,240 SF	
TOTALS		21		1,816 m²		14,942 SF	
FLOOR AREAS							
			GROSS	FAR EXCLUSIONS			
LEVEL 1			160 m ²	1,741 SF			
LEVEL 2			629 m ²	6,771 SF	67 m ²	718 SF	
LEVEL 3			629 m ²	6,771 SF			
LEVEL 4			426 m ²	4,571 SF			
TOTAL			3,244 m²	37,054 SF			
BUILDING FOOTPRINT AREA			470 m ²	4,978 SF			
PARKING AREA UNDER BUILDING ONLY			383 m ²	4,118 SF			
PARKING AREA (ALL)			596 m ²	6,390 SF			
PARKING DATA							
PARKING TYPE	REQUIRED	PROPOSED					
RESIDENTIAL	210	22					
TOTAL PARKING	210	22					
PARKING DATA - STALL MIX							
PARKING STALL MIX	Required	%	Proposed	%			
Standard Stall	20	9.5%	0	0%			
Small Car Stall (20% Max)	-	30% MAX	0	0%			
Accessible Stall	1	0.5%	1	4.5%			
BICYCLE PARKING							
Bicycle Parking (Bike Reference)	27		27				
Class	21	78%	0	0%			
Class	6	22%	0	0%			

SEVENTH STREET CONDO

CONDO BUILDING

ISSUED FOR DEVELOPMENT PERMIT

CIVIC ADDRESS:

9895 & 9899 SEVENTH STREET, SIDNEY, BC

LEGAL DESCRIPTION:

LOT 15, BLOCK 4, PLAN VPR18, SECTION 11, RANGE 3E, NORTH SAANICH LAND DISTRICT, & R1E 4E PD: 004-55-218
 LOT 15, BLOCK 4, PLAN VPR18, SECTION 11, RANGE 3E, NORTH SAANICH LAND DISTRICT, & R1E 4E PD: 008-008-536

CONSULTANT LIST

CLIENT:
JERRY WAKEFIELD CONSTRUCTION INC
 2085 5th Main
 Sidney BC V8L 3S3

ARCHITECT:
UNION ARCHITECTURE INC.
 315-2840 Peatt Road,
 Langford, BC, V9B 3V4
 Contact: Rob Pringle (Architect AIBC)

DRAWINGS - ARCHITECTURAL

0100	COVER SHEET
0200	FLOOR PLAN - LEVEL 1 & 2
0300	FLOOR PLAN - LEVEL 3 & 4
0400	ROOF PLAN
0500	UNIT PLANS
0600	UNIT PLANS
0700	ELEVATIONS - NORTH & WEST
0800	ELEVATIONS - SOUTH & EAST
0900	BUILDING SECTIONS
1000	SCREENSHOTS
1100	SHADOW STUDY
1200	EXISTING SURVEY



LOCATION PLAN N.T.S.



EXISTING STREET VIEW



CONCEPTUAL RENDERING

UNION ARCHITECTURE

315-2840 Peatt Road, Langford, BC, V9B 3V4
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 www.unionarchitect.ca

SEAL:

NO. ISSUED FOR: DATE:
 1. ISSUED FOR DEVELOPMENT PERMIT 2024-07-15
 2. DEVELOPMENT PERMIT COMMENTS 2024-08-05
 3. DEVELOPMENT REVIEW COMMITTEE 2024-08-04
 COMMENTS REV 1
 4. RE-ISSUED FOR DEVELOPMENT PERMIT 2024-02-20

JERRY WAKEFIELD CONSTRUCTION INC.

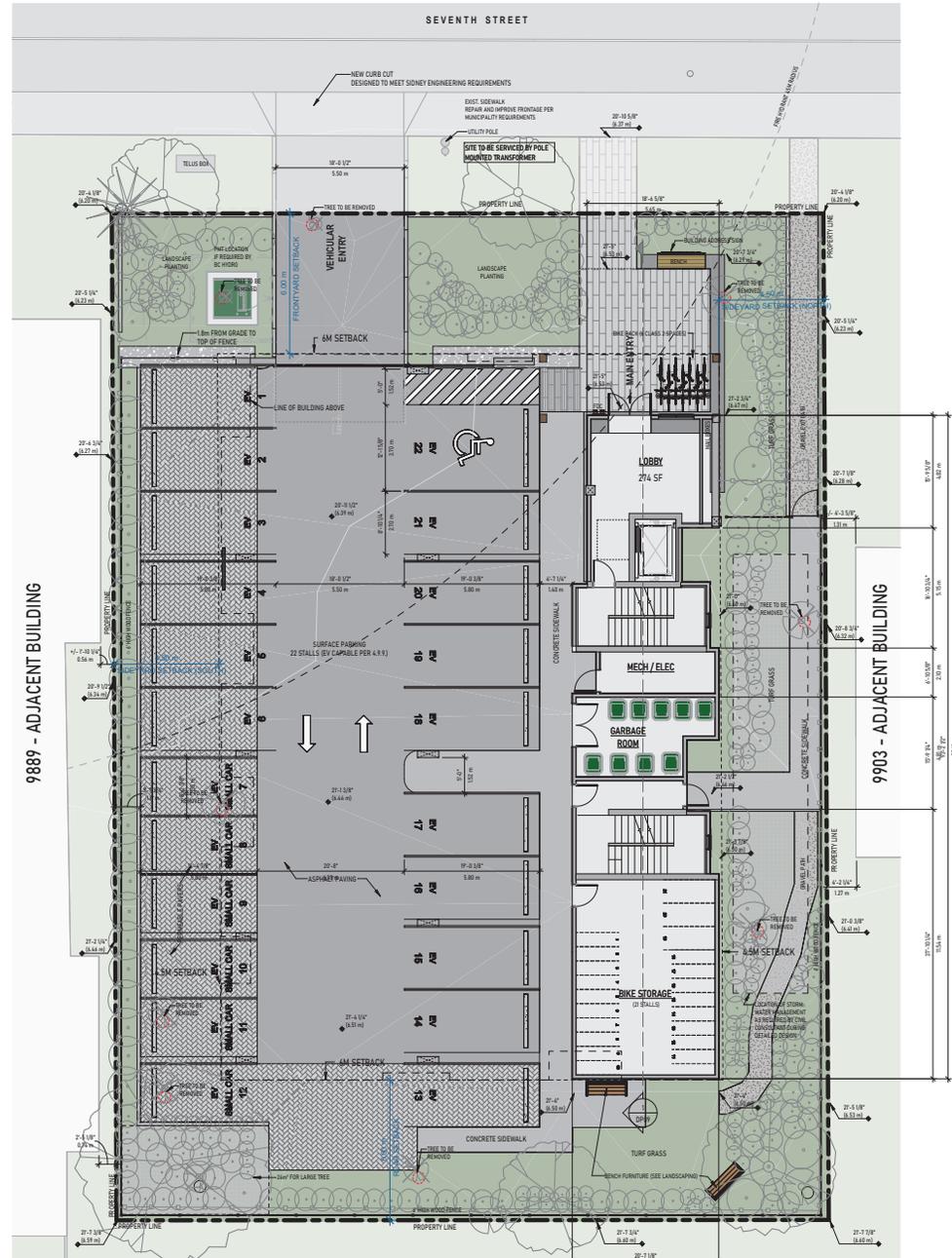
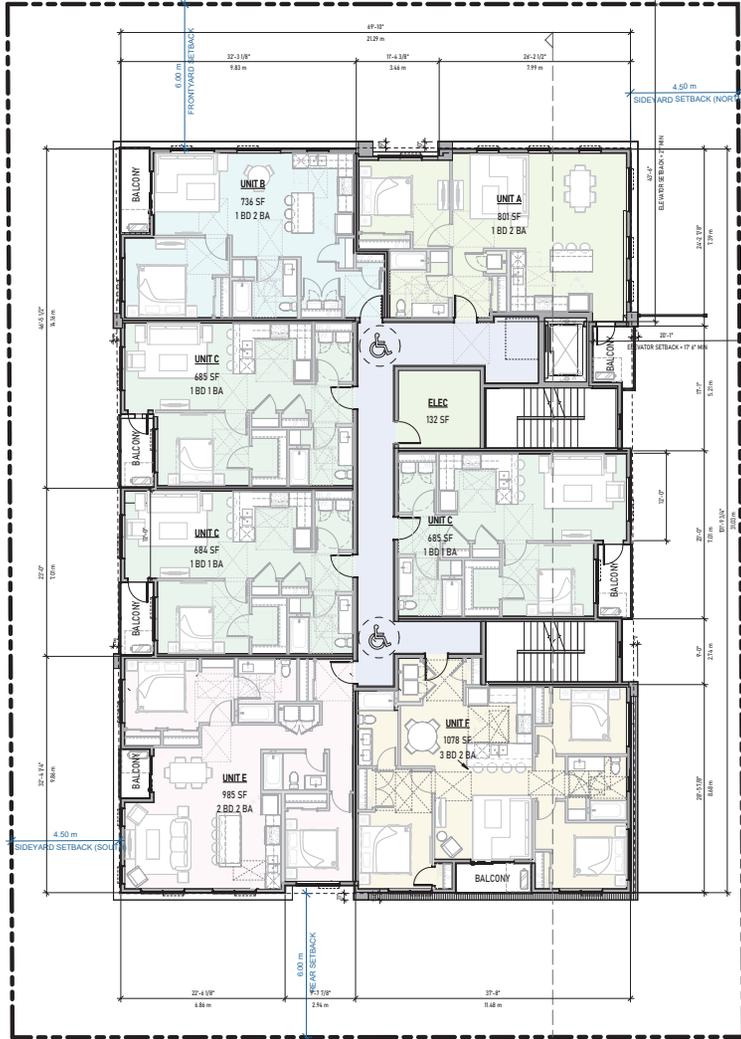
PROJECT NAME:
SEVENTH STREET CONDO

PROJECT ADDRESS:
9895 & 9899 SEVENTH STREET, SIDNEY, BC

DRAWING TITLE:
COVER SHEET

PROJECT NO: **24016** DRAWN: **JS / AS**
 SCALE: REVIEWED: **RP**

DWG NO: **DP01**



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 1. ISSUED FOR DEVELOPMENT PERMIT 2024-07-15
 2. DEVELOPMENT PERMIT COMMENTS 2024-09-05
 3. DEVELOPMENT REVIEW COMMENTS 2024-08-24
 COMMENTS REV'D
 4. RE-ISSUED FOR DEVELOPMENT PERMIT 2024-12-30

PROJECT NAME:
SEVENTH STREET CONDO

PROJECT ADDRESS:
6895 & 9899 SEVENTH STREET, SIDNEY, BC

DRAWING TITLE:
FLOOR PLAN - LEVEL 1 & 2

PROJECT NO: 24016 DRAWN: JS / AS
 SCALE: REVIEWED: RP

DWG NO: **DP02**

SEAL:



NO.	ISSUED FOR:	DATE:
1	ISSUED FOR DEVELOPMENT PERMIT	2024-07-15
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3	DEVELOPMENT REVIEW COMMITTEE COMMENTS REV 1	2024-09-24
4	RE-ISSUED FOR DEVELOPMENT PERMIT	2024-12-30



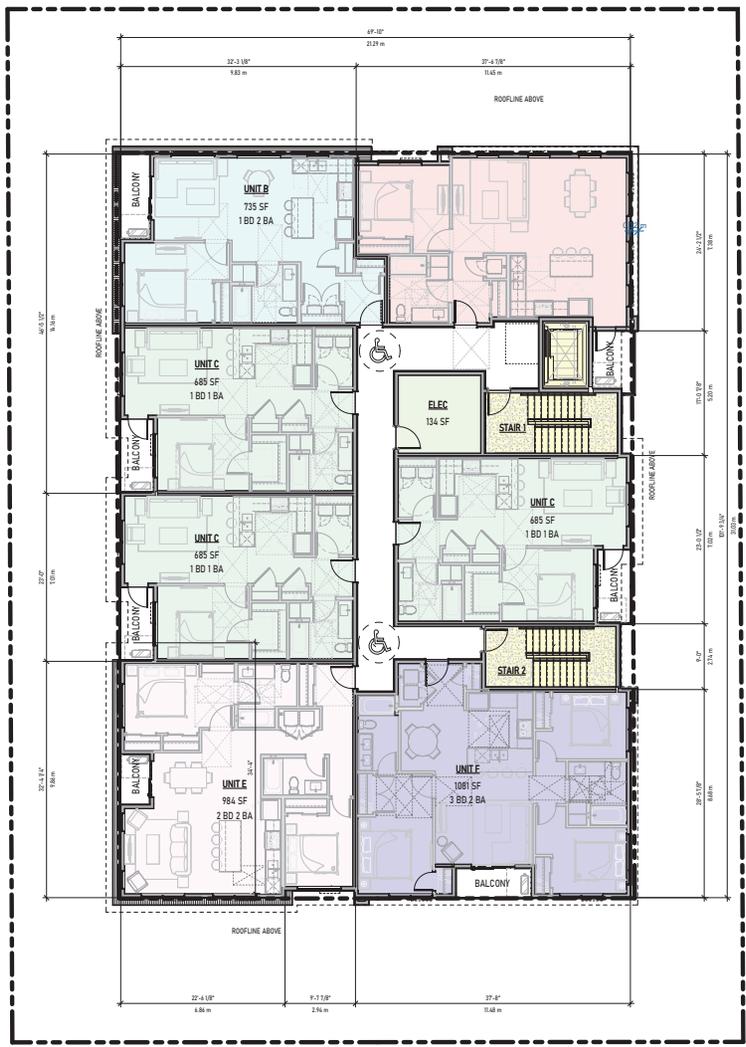
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SEVENTH STREET CONDO

PROJECT ADDRESS:
8895 & 9899 SEVENTH STREET, SIDNEY, BC

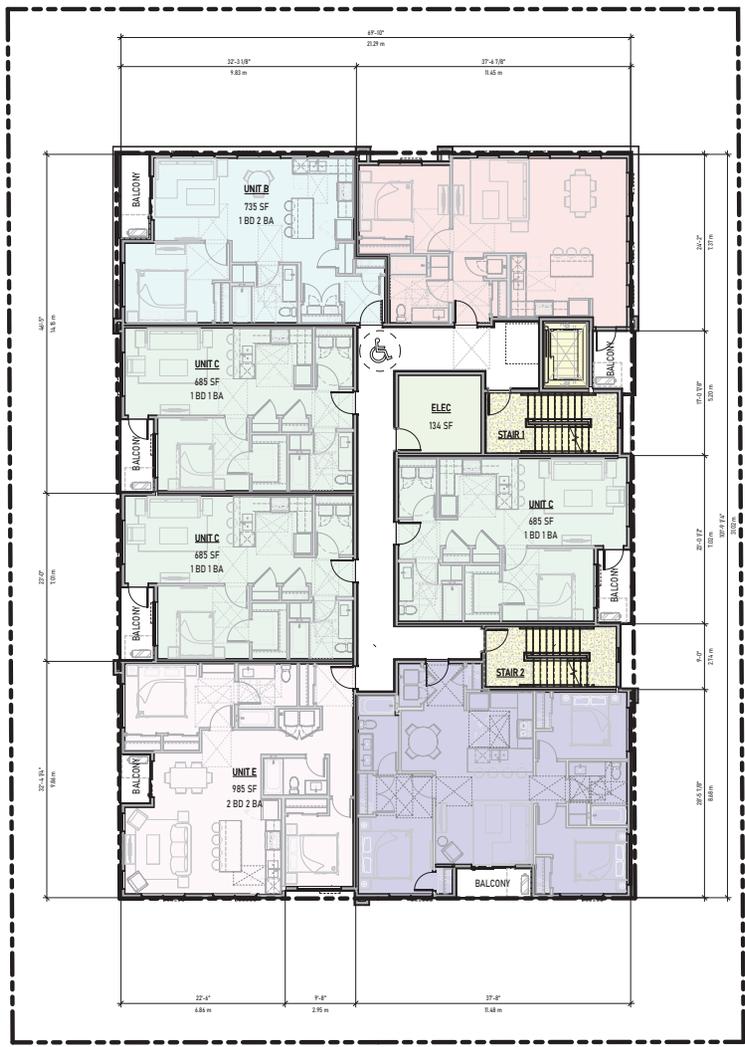
DRAWING TITLE:
FLOOR PLAN - LEVEL 3 & 4

PROJECT NO: 24016	DRAWN: AS
SCALE:	REVIEWED: RP

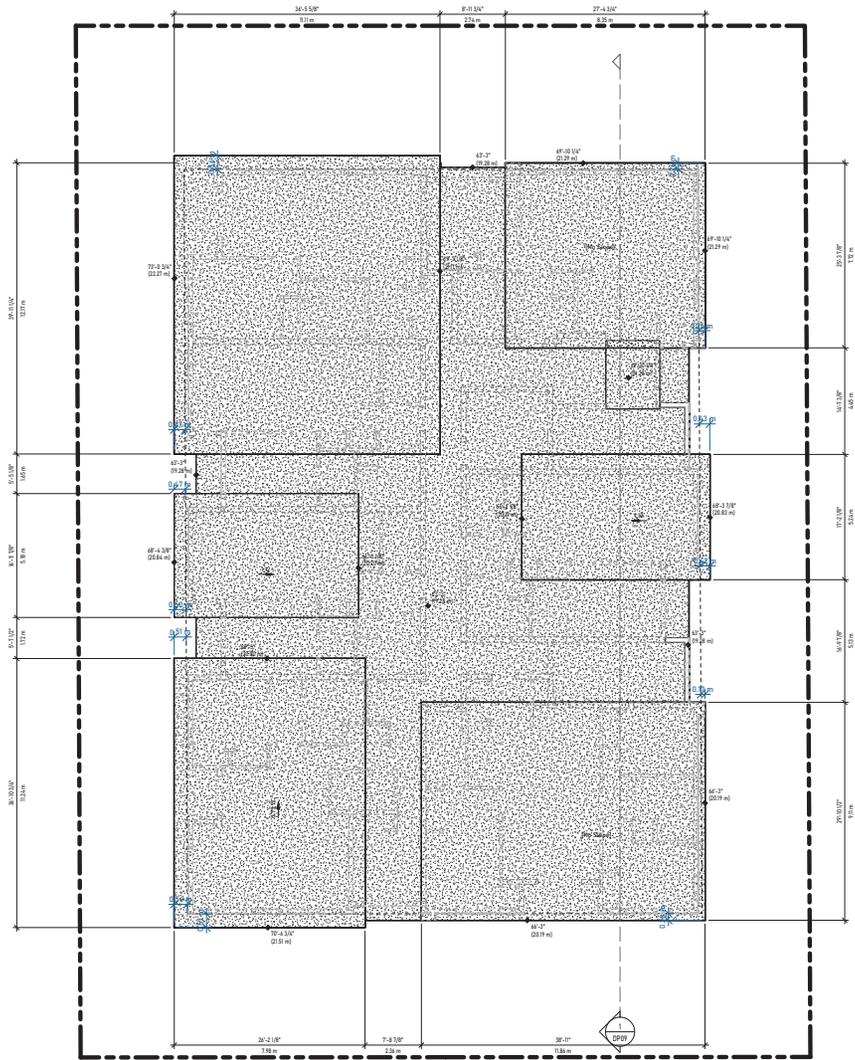
DWG NO: **DP03**



1 FOURTH FLOOR PLAN
 WP - 1/F



2 THIRD FLOOR PLAN
 WP - 1/F



1 ROOF PLAN
1/8" = 1'-0"

UNION ARCHITECTURE

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2	DEVELOPMENT PERMIT COMMENTS	2024-08-05
3	DEVELOPMENT PERMIT COMMITTEE COMMENTS REV 1	2024-10-04
4	RE-ISSUED FOR DEVELOPMENT PERMIT	2024-10-30



PROJECT NAME:
SEVENTH STREET CONDO

PROJECT ADDRESS:
9895 & 9899 SEVENTH STREET, SIDNEY, BC

DRAWING TITLE:
ROOF PLAN

PROJECT NO: 24016 | DRAWN: AS

SCALE: | REVIEWED: RP

DWG NO: DP04

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3	DEVELOPMENT REVIEW COMMITTEE COMMENTS REV'N	2024-10-24
4	RE-ISSUED FOR DEVELOPMENT PERMIT	2024-12-30



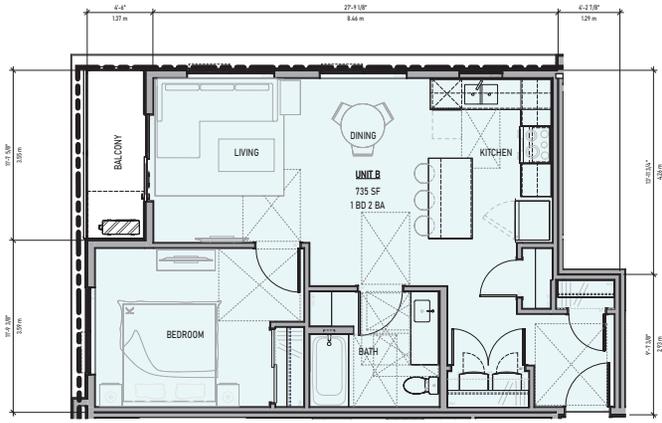
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SEVENTH STREET CONDO

PROJECT ADDRESS:
6895 & 9899 SEVENTH STREET, SIDNEY, BC

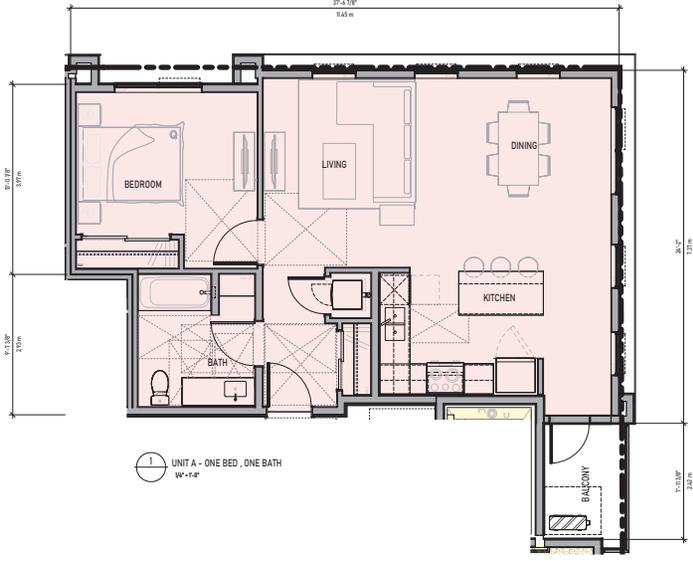
DRAWING TITLE:
UNIT PLANS

PROJECT NO: 24016	DRAWN: AS
SCALE:	REVIEWED: RP

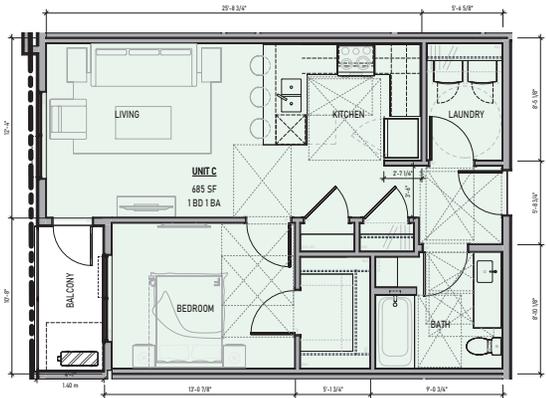
DWG NO: **DP05**



2 UNIT B - ONE BED, ONE BATH
 W*-F*



1 UNIT A - ONE BED, ONE BATH
 W*-F*



3 UNIT C - ONE BED, ONE BATH
 W*-F*



LEGEND OF FINISHES	
1	VERTICAL WOOD LOOK SIDING
2	VERTICAL CORRUGATED METAL SIDING - LIGHT GRAY
3	VERTICAL CORRUGATED METAL SIDING - CHARCOAL
4	EXPOSED CONCRETE
5	FIBRE CEMENT PANEL - CHARCOAL
6	OPAQUE FROSTED GLAZED GUARD RAIL
7	FIBRE CEMENT LAP SIDING - OFF-WHITE
9	FIBRE CEMENT PANEL - DARK BLUE
10	GLAZED VINYL PATIO DOOR - CHARCOAL FRAME
12	GLAZED VINYL WINDOW - CHARCOAL FRAME
22	FIBRE CEMENT PANEL TRIM - CHARCOAL
24	FIBRE CEMENT PANEL TRIM - LIGHT GRAY
25	WOOD FENCE
26	CULTURED STONE
27	EXPOSED WOOD STRUCTURE
30	METAL PARKADE GATE W/ PERFORATED METAL MESH
31	ALUMINUM SOFFIT - CHARCOAL

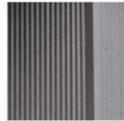


1 (DP) EAST ELEVATION
1/20'

3 (SD) 3D ORTHO 2 Copy 1



VERTICAL WOOD LOOK SIDING



VERTICAL CORRUGATED METAL SIDING - LIGHT GRAY



VERTICAL CORRUGATED METAL SIDING - CHARCOAL



EXPOSED CONCRETE



FIBRE CEMENT PANEL - CHARCOAL



OPAQUE FROSTED GLAZED GUARD RAIL



FIBRE CEMENT LAP SIDING - WHITE



METAL FLASHING - CHARCOAL



FIBRE CEMENT PANEL - DARK BLUE



GLAZED VINYL PATIO DOOR - CHARCOAL FRAME



METAL PARKADE GATE - W/ PERFORATED METAL MESH



VINYL WINDOW - CHARCOAL FRAME



2 (DP) NORTH ELEVATION
1/20'

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3	DEVELOPMENT REVIEW COMMITTEE	2024-09-04
4	COMMENTS REVISED	
5	RE-ISSUED FOR DEVELOPMENT PERMIT	2024-12-30



PROJECT NAME:
SEVENTH STREET CONDO

PROJECT ADDRESS:
5895 & 9899 SEVENTH STREET, SIDNEY, BC

DRAWING TITLE:
ELEVATIONS - NORTH & EAST

PROJECT NO: 24016 DRAWN: JS
SCALE: REVIEWED: RP

DWG NO: DP07

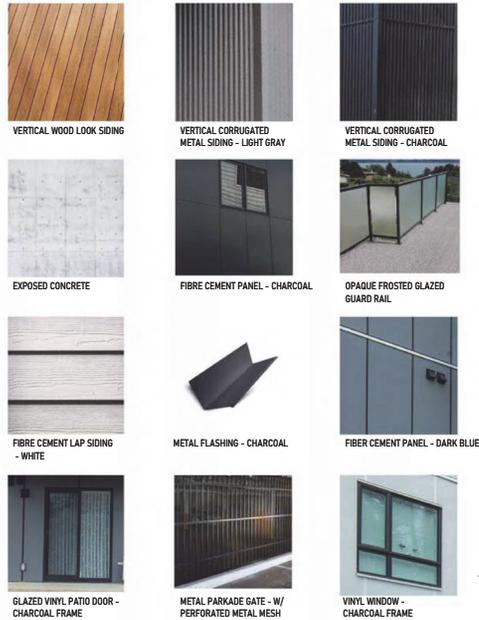


LEGEND OF FINISHES	
1	VERTICAL WOOD LOOK SIDING
2	VERTICAL CORRUGATED METAL SIDING - LIGHT GRAY
3	VERTICAL CORRUGATED METAL SIDING - CHARCOAL
4	EXPOSED CONCRETE
5	FIBRE CEMENT PANEL - CHARCOAL
6	OPAQUE FROSTED GLAZED GUARD RAIL
7	FIBRE CEMENT LAP SIDING - OFF-WHITE
8	FIBRE CEMENT LAP SIDING - DARK BLUE
9	GLAZED VINYL PATIO DOOR - CHARCOAL FRAME
10	GLAZED VINYL WINDOW - CHARCOAL FRAME
11	FIBRE CEMENT PANEL TRIM - CHARCOAL
12	FIBRE CEMENT PANEL TRIM - LIGHT GRAY
13	WOOD FENCE
14	CULTURED STONE
15	EXPOSED WOOD STRUCTURE
16	METAL PARKADE GATE W/ PERFORATED METAL MESH
17	ALUMINIUM SOFFIT - CHARCOAL



2 (DP) WEST ELEVATION
1/8"=1'-0"

3 (SD) 3D ORTHO 2 Copy 1 Copy 1



1 (DP) SOUTH ELEVATION
1/8"=1'-0"

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3	DEVELOPMENT REVIEW COMMITTEE	2024-09-24
4	COMMENTS REV 3	
4	RE-ISSUED FOR DEVELOPMENT PERMIT	2024-12-30



PROJECT NAME:
SEVENTH STREET CONDO

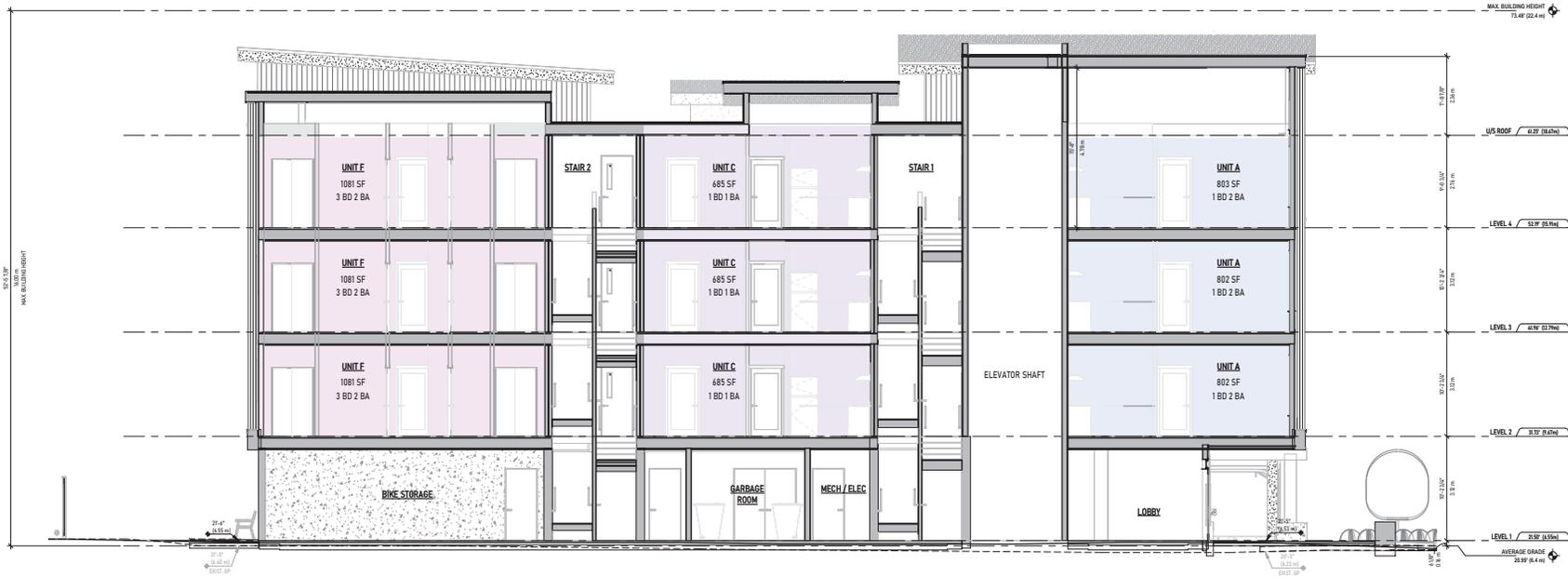
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DRAWING TITLE:
ELEVATIONS - SOUTH & WEST

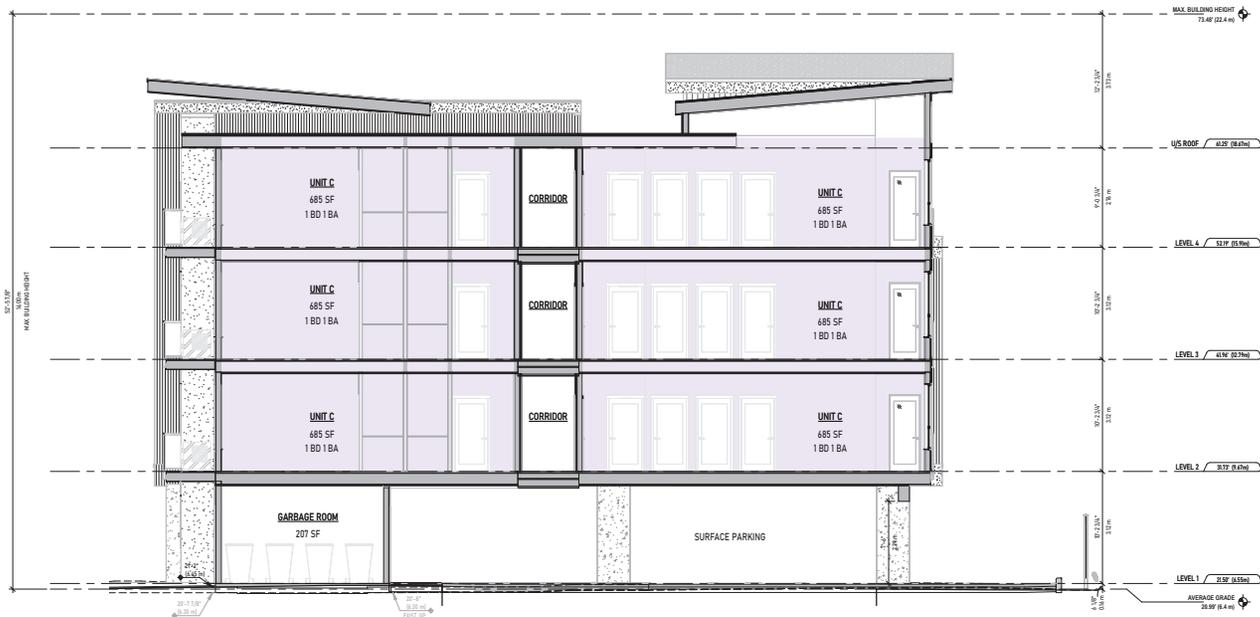
PROJECT NO: **24016** DRAWN: **JS**

SCALE: REVIEWED: **RP**

DWG NO: **DP08**



1 BUILDING SECTION 1
3W-11P



2 BUILDING SECTION 2
3W-11P

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4	RE-ISSUED FOR DEVELOPMENT PERMIT	2024-12-30

JERRY WAKEFIELD
CONSTRUCTION Inc.

PROJECT NAME:
SEVENTH STREET CONDO

PROJECT ADDRESS:
6995 & 9999 SEVENTH STREET, SIDNEY, BC

DRAWING TITLE:
BUILDING SECTIONS

PROJECT NO: 24016 DRAWN: AS
SCALE: REVIEWED: RP

DWG NO: DP09



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2	DEVELOPMENT PERMIT COMMENTS	2024-08-05
3	DEVELOPMENT REVIEW COMMITTEE	2024-08-04
4	COMMENTS REVIEW	
	RE-ISSUED FOR DEVELOPMENT PERMIT	2024-12-30



PROJECT NAME:
SEVENTH STREET CONDO

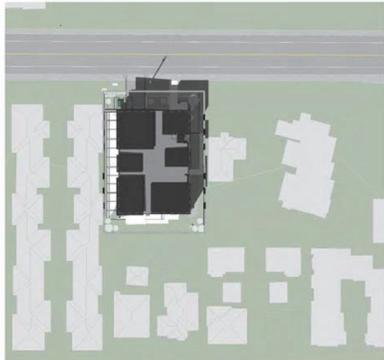
PROJECT ADDRESS:
9895 & 9899 SEVENTH STREET, SIDNEY, BC

DRAWING TITLE:
RENDERINGS

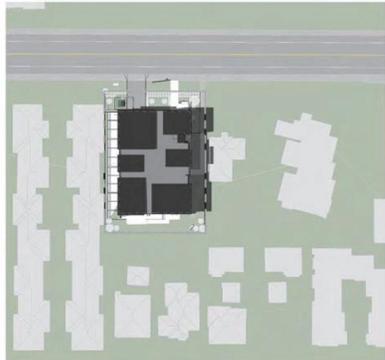
PROJECT NO:	24016	DRAWN:	-
SCALE:		REVIEWED:	-

DWG NO: **DP10**

SUMMER SOLSTICE



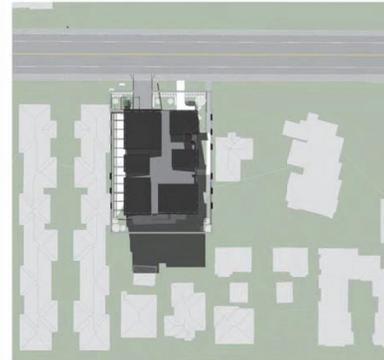
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ADP 1:300
SHADOW STUDY - SUMMER SOLSTICE - 10AM



5
ADP 1:300
SHADOW STUDY - SUMMER SOLSTICE - 12PM

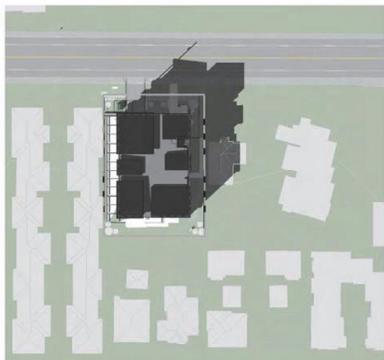


9
ADP 1:300
SHADOW STUDY - SUMMER SOLSTICE - 2PM

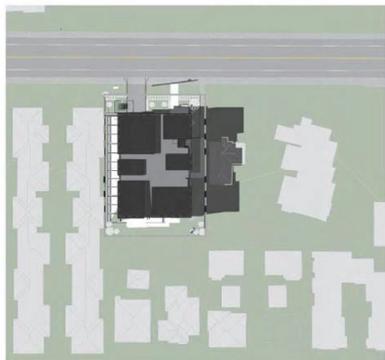


10
ADP 1:300
SHADOW STUDY - SUMMER SOLSTICE - 4PM

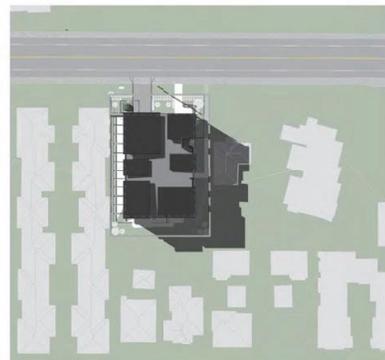
FALL / SPRING EQUINOX



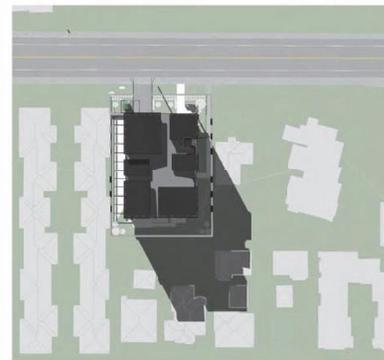
3
ADP 1:300
SHADOW STUDY - FALL / SPRING EQUINOX - 10AM



4
ADP 1:300
SHADOW STUDY - FALL / SPRING EQUINOX - 12PM



1
ADP 1:300
SHADOW STUDY - FALL / SPRING EQUINOX - 2PM

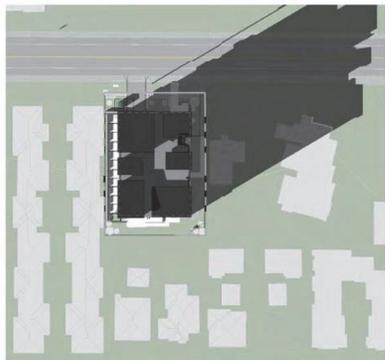


2
ADP 1:300
SHADOW STUDY - FALL / SPRING EQUINOX - 4PM

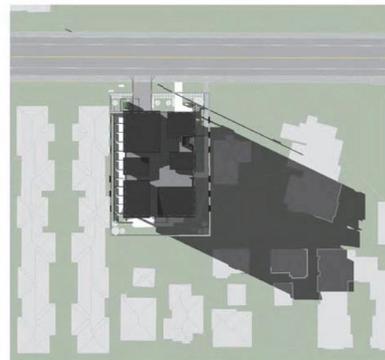
WINTER SOLSTICE



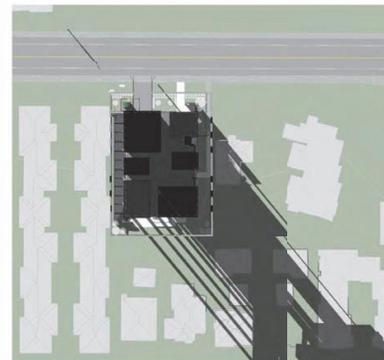
12
ADP 1:300
SHADOW STUDY - WINTER SOLSTICE - 10AM



8
ADP 1:300
SHADOW STUDY - WINTER SOLSTICE - 10AM



4
ADP 1:300
SHADOW STUDY - WINTER SOLSTICE - 2PM



7
ADP 1:300
SHADOW STUDY - WINTER SOLSTICE - 4PM

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4	COMMENTS REVISED	
4	RE-ISSUED FOR DEVELOPMENT PERMIT	2024-12-30

JERRY WAKEFIELD
CONSTRUCTION Inc.

PROJECT NAME:
SEVENTH STREET CONDO

PROJECT ADDRESS:
8695 & 9899 SEVENTH STREET, SIDNEY, BC

DRAWING TITLE:
SHADOW STUDY

PROJECT NO: 24016	DRAWN: -
SCALE: -	REVIEWED: -

DWG NO: DP11

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PROJECT NAME:
SEVENTH STREET CONDO

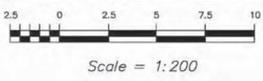
PROJECT ADDRESS:
9895 & 9899 SEVENTH STREET, SIDNEY, BC

DRAWING TITLE:
EXISTING SURVEY

PROJECT NO:	24016	DRAWN:	-
SCALE:		REVIEWED:	-

DWG NO: **DP12**

Site Plan Of:
Lots 15 and 16, Block 4, Section 11, Ranges 3 and 4 East,
North Saanich District, Plan 1015.
P.I.D. 004-155-238
P.I.D. 008-108-536



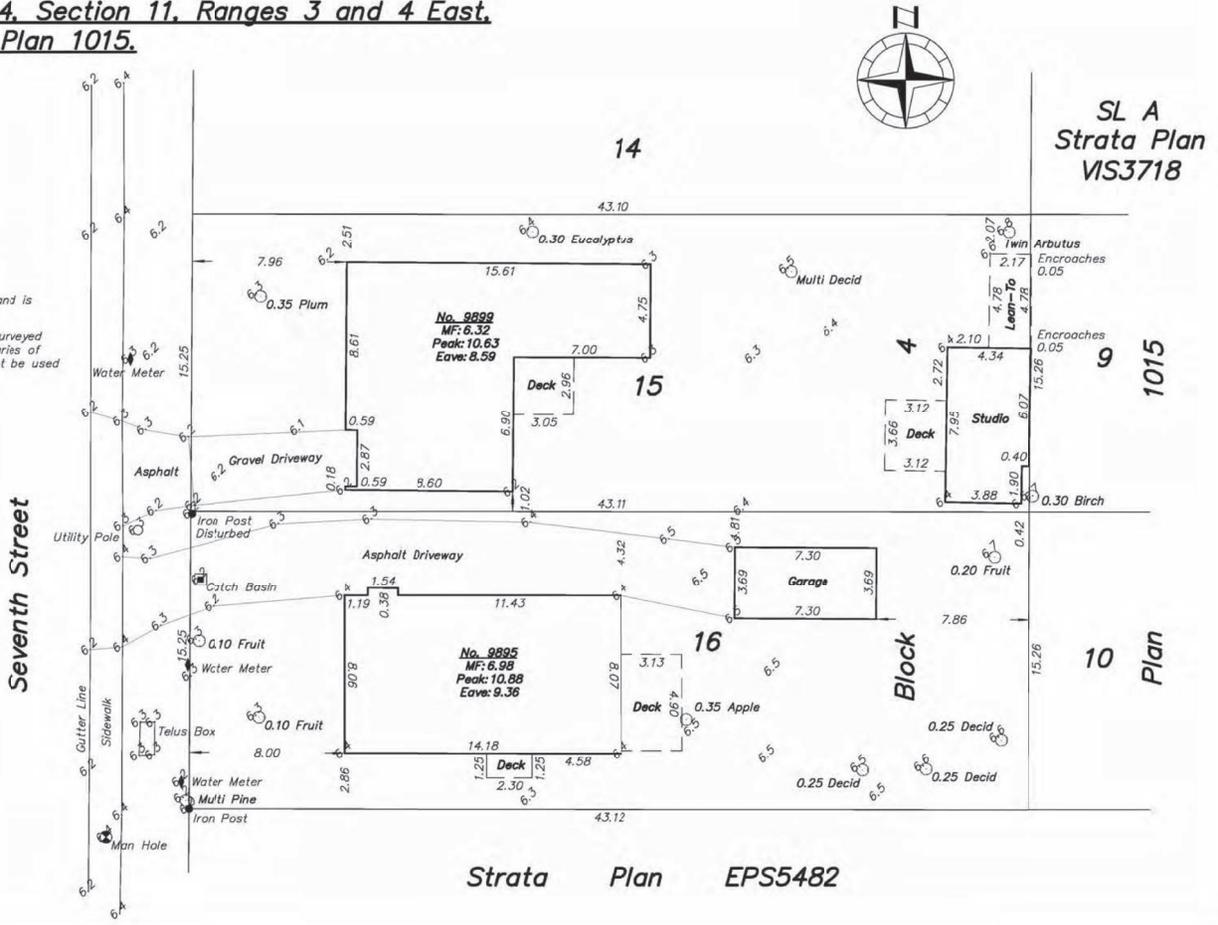
Dated this 10th day of June, 2017.

Distances and elevations shown are in metres.

Elevations are based on a geodetic datum CVD28BC and derived from OGM 79H0514.

This site plan is for building and design purposes and is for the exclusive use of our client.

This document shows the relative location of the surveyed structures and features with respect to the boundaries of the parcel described above. This document shall not be used to define property lines or property corners.

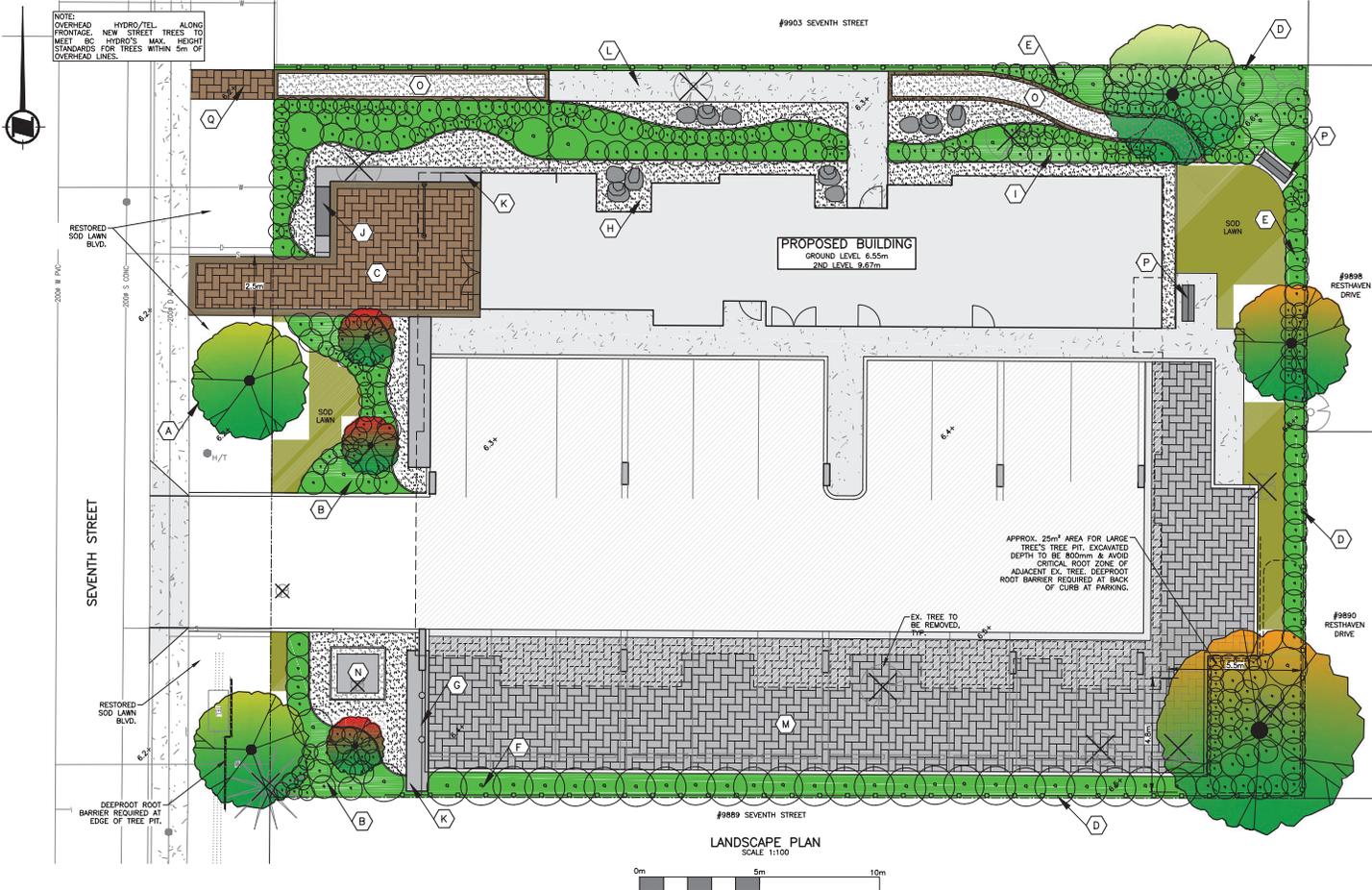


Wey Mayenburg Land Surveying Inc.
www.weysurveys.com
#4-2227 James White Boulevard
Sidney, BC V8L 1Z5
Telephone (250) 656-5155
File: 220077\SIT\LE

EXISTING SURVEY (BY OTHERS) NOT TO SCALE

Strata Plan EPS5482

CALID SERVICES LTD. PREPARED THIS DRAWING FOR THE LISTED CLIENT ONLY AND ACCEPTS NO RESPONSIBILITY FOR THIRD PARTY USE.



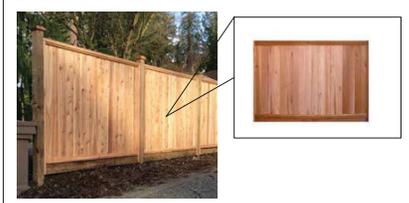
- ### GENERAL NOTES
- ALL PLANTING, TREE PIT SOIL VOLUMES, CONSTRUCTION, AND MATERIALS TO BE IN ACCORDANCE WITH TOWN OF SIDNEY SPECIFICATIONS AND STANDARD DRAWINGS, MMCD SPECIFICATIONS AND BC NURSERY TRADES. ALL LANDSCAPING WORK TO BE REVIEWED BY CALID SERVICES LTD.
 - ALL OFFSITE AREAS AFFECTED BY THE WORK ARE TO BE RENOVATED TO ORIGINAL OR BETTER CONDITION BY CONTRACTOR AND COMPLETED IN PROMPT MANNER TO MINIMIZE LOCAL DISRUPTION.
 - CONTRACTOR TO ENSURE POSITIVE DRAINAGE OF ALL LAWNS AND PLANTING AREAS TO AN APPROVED OUTLET. MINIMUM GRADE TO BE 2.0%.
 - CONTRACTOR TO CONFIRM LOCATION OF AND COORDINATE WITH APPLICABLE UTILITIES PRIOR TO INSTALLATION OF ANY OF THE LANDSCAPE WORKS.
 - CONTRACTOR TO BE REGISTERED WITH WORK SAFE BC AND ALL WORK TO BE CONDUCTED UNDER WORK SAFE BC REGULATIONS AND WORK AREAS TO BE PROTECTED BY APPROVED HOOD CONSTRUCTION FENCING.
 - EXISTING UNDERGROUND SERVICES ARE SHOWN SCHEMATICALLY ON THIS DRAWING. CONTRACTOR TO CONFIRM THE LOCATION OF ANY UNDERGROUND SERVICES AND COORDINATE WITH APPLICABLE UTILITIES PRIOR TO ANY DIGITATIONS.
 - FOR ANY AMBIGUITIES IN SPECIFICATIONS THE MOST CONSERVATIVE/ROBUST SPECIFICATIONS SHALL GOVERN.
 - CONTRACTOR TO NOTIFY CALID SERVICES LTD. IMMEDIATELY OF ANY CONFLICTS OR DISCREPANCIES.
 - AUTOMATIC IRRIGATION SYSTEM REQUIRED FOR ALL PLANTING AREAS, SOD LAWNS & TREES.
 - IRRIGATION REQUIREMENTS FOR MUNICIPAL SOD LAWN BOULEVARD & STREET TREES TO BE PROVIDED BY TOWN OF SIDNEY. POINT OF CONNECTION FOR MUNICIPAL IRRIGATION SYSTEM TO BE REVIEWED WITH SIDNEY STAFF.
 - WELL-ROTTED, HIGH ORGANIC CONTENT, LOW WOOD CONTENT MULCH TO BE APPLIED TO PLANTING BEDS AFTER FINISHED GRADING IS APPROVED AND PLANTING COMPLETE. MULCH TO BE FREE OF CHUNKS, STICKS, SOIL, STONES, ROOTS, ETC. LANDSCAPE CONTRACTOR TO ENSURE MINIMUM BARK MULCH DEPTH OF 50mm AFTER SETTLEMENT. 1.2m² MULCH RINGS REQUIRED FOR ALL TREES IN LAWN AREAS.
 - CONTRACTOR TO ERECT TREE PROTECTION FENCING TO TOWN OF SIDNEY STANDARDS AT ALL TREES TO BE RETAINED PRIOR TO ANY SITE WORK.

- ### IRRIGATION NOTES
- IRRIGATION SYSTEMS TO MEET MMCD, TOWN OF SIDNEY IRRIGATION STANDARDS, AND IABC STANDARDS. IRRIGATION CONTRACTOR TO INSTALL IRRIGATION SYSTEM TO ALL APPLICABLE PLUMBING REGULATIONS.
 - PRIVATE ONSITE IRRIGATION P.O.C., TIMER & METER TO BE LOCATED WITHIN BUILDING MECHANICAL ROOM.
 - SOD LAWN AREAS, TREES AND PLANTING AREAS TO BE IRRIGATED. SOD LAWN TO HAVE A MICROSPRAY IRRIGATION SYSTEM WITH HEAD TO HEAD COVERAGE. PLANTING BEDS TO BE IRRIGATED WITH DRIP IRRIGATION. TREES TO HAVE TWO EMITTER LOOPS PER TREE.
 - IRRIGATION SYSTEM TO BE DESIGNED BY AN IRRIGATION DESIGNER CERTIFIED BY IABC OR IA. SHOP DRAWINGS TO BE PROVIDED TO CALID SERVICES LTD. FOR REVIEW.
 - ALL IRRIGATION COMPONENTS AND INSTALLATION TO COMPLY WITH MMCD AND IABC STANDARDS FOR LANDSCAPE IRRIGATION SYSTEMS. SYSTEM TO INCLUDE FLOW SENSOR, CENTRAL SHUT-OFF VALVE, AND METER. PRESSURE REGULATING DEVICE AND MOISTURE SENSOR/RAIN DELAY CONTROLLER ALSO REQUIRED.
 - IRRIGATION SYSTEM TO HAVE A DYNAMIC OPERATING PRESSURE BETWEEN 50 TO 90 psi.
 - IRRIGATION CONTRACTOR TO ENSURE ALL CRITICAL POINTS (CORNERS, EDGES, TIGHT CONTOURS, ETC) RECEIVE FULL COVERAGE.
 - IRRIGATION CONTRACTOR TO LOCATE ALL UNDERGROUND SERVICES PRIOR TO COMMENCING WORK.
 - IRRIGATION SYSTEM TEST TO BE WITNESSED BY CALID SERVICES LTD. CONTRACTOR TO PROVIDE 48 HOUR NOTICE FOR REVIEW.
 - IRRIGATION CONTRACTOR TO GUARANTEE WORK AND MATERIALS FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
 - IRRIGATION CONTRACTOR TO PROVIDE AS-BUILT DRAWINGS AND ZONE MAPS TO DEVELOPER.
 - 150mm DIAM. PVC IRRIGATION SLEEVES REQUIRED AT PLANTER WALLS, SIDEWALKS, DRIVEWAYS, ETC. TO ENSURE ALL PLANTING AREAS MAY BE SERVICED BY SITE IRRIGATION SYSTEM. FAILURE BY CONTRACTOR TO PROVIDE IRRIGATION SLEEVES WILL RESULT IN WORK NEEDING TO BE REDONE AT CONTRACTOR'S EXPENSE. CONTRACTOR TO STAKE & LABEL ALL SLEEVES IN FIELD FOR IRRIGATION CONTRACTOR.
 - IRRIGATION CONTRACTOR TO INCLUDE ONE WINTERIZATION AND SYSTEM START UP WHEN PRICING JOB. OPERATION MANUAL, AND RECOMMENDED TIMER SETTINGS TO BE PROVIDED BY IRRIGATION CONTRACTOR TO DEVELOPER.

KEY NOTES

- A PROPOSED BOULEVARD TREE (KWANZAN CHERRY) IN SOD LAWN. 1.2m² MULCH RING REQUIRED. TYPICAL.
- B FRONTAGE FEATURE: PLANTING C/W COLUMNAR TREES, SHRUBS, ORNAMENTAL GRASSES & PERENNIALS. RIVER ROCK COBBLE BORDER PROPOSED AT BUILDING.
- C BUILDING ENTRANCE C/W SPECIALTY UNIT PAVING & SEATING WALL. VISITOR BIKE RACK TO BE LOCATED UNDER BUILDING OVERHANG.
- D 1.8m HI. PERIMETER WOOD PANEL FENCE.
- E PERIMETER PLANTING AREA C/W ACCENT TREES, SHRUBS & FLOWERING PERENNIALS.
- F EVERGREEN SCREEN HEDGE. HEDGING SHRUBS TO BE MIN. 1.2m HEIGHT WHEN PLANTED.
- G 1.2m HEIGHT WOOD FENCE ON WALL. WALL DESIGN BY OTHERS.
- H RIVER ROCK COBBLE BORDER C/W WEED BARRIER FABRIC & PLASTIC WOOD EDGING. (APPROX.) LANDSCAPE BOULDERS TO BE PLACED IN BORDER.
- I PLANTING BED AT BUILDING C/W SHADE TOLERANT SHRUBS.
- J PROJECT SIGN. DESIGN BY OTHERS.
- K LOW HEIGHT WALL. DESIGN BY OTHERS.
- L CONCRETE WALKWAY. DESIGN BY OTHERS.
- M PROP. PERMEABLE PAVER PARKING STALLS.
- N PROP. BC HYDRO PMT LOCATION. TO BE CONFIRMED BY DEVELOPER'S ELECTRICAL ENGINEERS & BC HYDRO. CRUSHED ROCK GRAVEL REQUIRED AT PMT. NO PLANTING WITHIN 1.2m OF PMT AS PER BC HYDRO REQUIREMENTS. ANTI-GRAFFITI VINYL WRAP REQUIRED. IMAGE TO BE SELECTED BY DEVELOPER.
- O 1.2m WIDE CRUSHED ROCK GRAVEL PATHWAY. SAND/COARSE PAVER EDGER TO BE DISCUSSED WITH DEVELOPER.
- P SEATING BENCH MOUNTED TO CONCRETE PAD WITH TAMPER-PROOF HARDWARE.
- Q 1.2m WIDE UNIT PAVER WALKWAY C/W EDGE RESTRAINT IN MUNICIPAL BOULEVARD.

FENCE REFERENCE IMAGES



- NOTES:
 1. PERIMETER FENCE TO BE 1.8m HEIGHT.
 2. FENCE ON WALL TO BE 1.2m HEIGHT.

FOR DEVELOPMENT PERMIT ONLY
Not for Construction



KEY MAP
NOT TO SCALE

Dwg. No.	REFERENCE DRAWINGS	DATE

LEGEND	
	PROP. SOD LAWN
	PROP. PLANTING BED
	PROP. DECIDUOUS TREE
	PROP. SHRUBS
	PROP. 1.8m WOOD FENCE
	PROP. 1.2m WOOD FENCE
	PROP. SEATING WALL (DESIGN BY OTHERS)
	PROP. UNIT PAVING
	PROP. FINISHED CONCRETE
	PROP. PERMEABLE PAVERS
	PROP. CRUSHED ROCK PATH
	PROP. RIVER ROCK BORDER

REV.	DATE	REVISIONS	BY	APPROVED
5	JAN 10/25	ROOT BARRIER ADDITION	DP	
4	DEC 16/24	TO BUILDING FOOTPRINT CHANGES	DP	
3	OCT 04/24	EXIT WALKWAY CHANGED	DP	
2	SEP 26/24	TO SITE CHANGES & PMT LOCATION	DP	
1	SEP 05/24	FENCE INFO ADDED PER TOWN COMMENTS	DP	



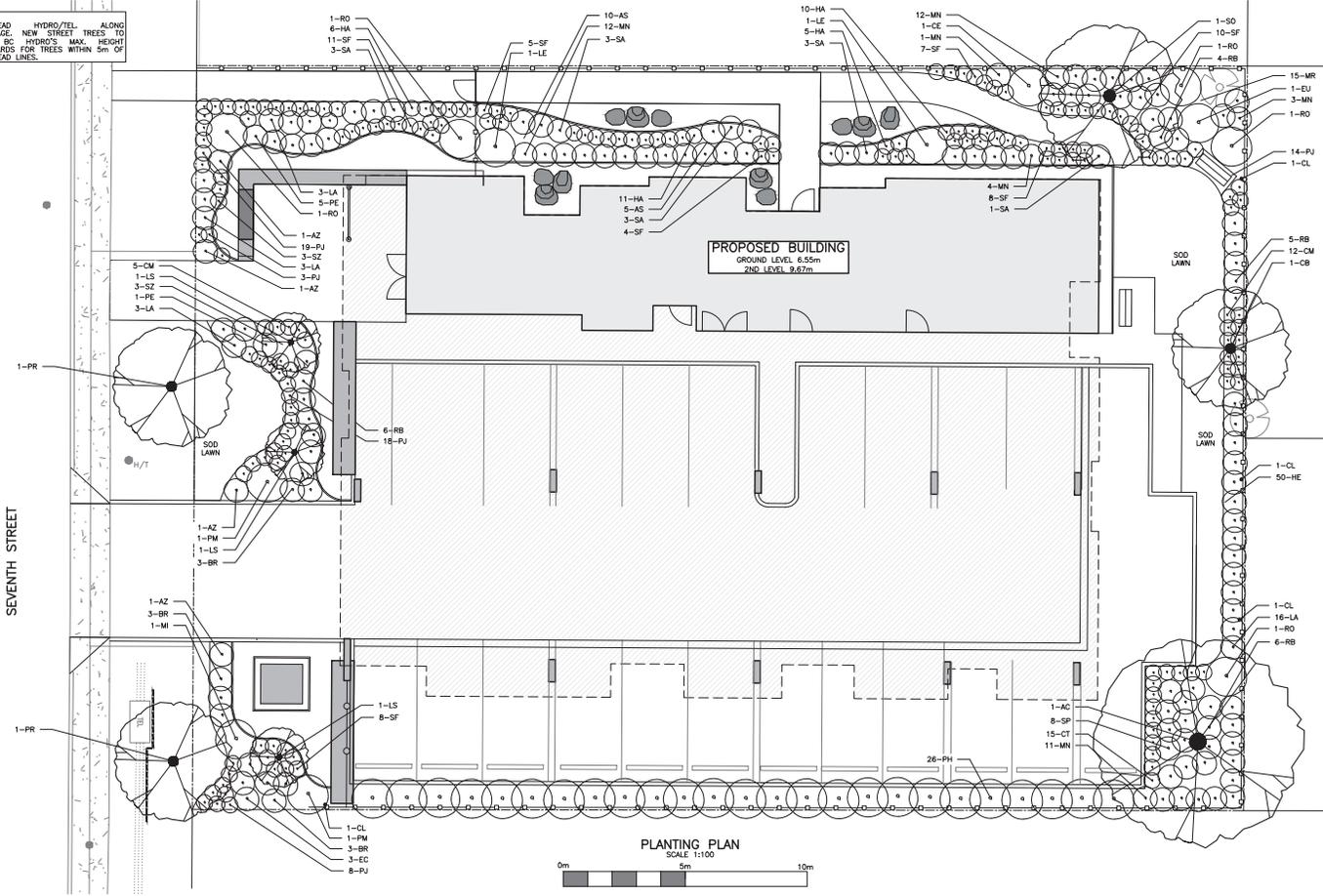
7895 & 9899 SEVENTH ST. CONDOS
 Landscape Plan & Notes
 Client: Jerry Wakefield Construction Inc.



207-2750 QUADRA ST.
 VICTORIA, B.C. V8T 4E8
 PHONE: (250) 381-6919
 FAX: (250) 381-6919
 engineer@calid.ca

Drawn	Date
	August 22, 2024
Checked	Project #
Approved	Scale
	as noted
Designed	dp
L1	5

NOTE: HYDRO/TEL ALONG FRONTAGE, NEW STREET TREES TO MEET BC HYDRO'S MAX. HEIGHT STANDARDS FOR TREES WITHIN 5m OF OVERHEAD LINES.



- ### PLANTING NOTES
- CONTRACTOR TO STRIP ALL ORGANIC MATERIAL TO SPECIFIED LIMITS OF THE PLANTING AREAS AND STOCKPILE ANY SUITABLE MATERIAL FOR REUSE. EXCAVATED DEPTH FOR SHRUBS TO BE MIN. 600mm, DEPTH OF TREE PITS TO BE 800mm. (TREE PITS TO BE EXCAVATED AT SAME TIME AS ANY SERVICES/UTILITY TRENCHING IN AREA. BACKFILL WITH GROWING MEDIUM & STAKE TREE PIT LOCATIONS FOR LANDSCAPE CONTRACTOR).
 - SCARIFY AREAS SHOWING EXCESSIVE COMPACTION AND SIDES AND BOTTOM OF TREE PITS.
 - CONTRACTOR TO REMOVE AND DISPOSE OF OFF-SITE ALL DEBRIS AND UNUSABLE MATERIAL, ROOTS, STONES, ETC. THAT MAY INTERFERE WITH THE PROPER GROWTH OF THE FINISHED LANDSCAPING.
 - GROWING MEDIUM TO MEET MIMC SPECIFICATION AND BC LANDSCAPE STANDARDS.
 - GROWING MEDIUM DEPTH TO BE MIN. 150mm FOR SOD LAWN, 600mm FOR PLANTING AREAS AND 800mm FOR TREE PITS.
 - IMPORTED TOPSOIL TO CONTAIN A MIN. OF 4% ORGANIC MATTER FOR CLAY LOAMS AND 2% ORGANIC MATTER FOR SAND LOAMS, TO A MAX. OF 20% VOLUME. SOIL TO BE FREE OF ROOTS, NOXIOUS WEEDS (CRABGRASS, COUCHGRASS, HORSETAIL, SEEDS, ETC.), TOXIC MATERIALS, STONES OVER 50mm OR FOREIGN OBJECTS. ACIDITY RANGE TO BE 5.5-7.5 pH. NATIVE TOPSOIL MAY BE USED PROVIDED IT MEETS STANDARDS SET FOR IMPORTED TOPSOIL.
 - PLANTING OF TREES, SHRUBS AND GROUND COVERS TO CONFORM TO MIMC SECTION 0250 AND TOWN OF SIDNEY SPECIFICATIONS.
 - LANDSCAPE CONTRACTOR TO ENSURE ALL MATERIALS AND PROCEDURES COMPLY WITH ACCEPTED LANDSCAPE PRACTICES. SPECIES SELECTION TO BE AS SPECIFIED. SUBSTITUTIONS WILL ONLY BE DONE WITH THE WRITTEN APPROVAL OF CALID SERVICES LTD.
 - PLANT MATERIAL TO BE NURSERY GROWN STOCK AND COMPLY WITH BRITISH COLUMBIA STANDARD FOR CONTAINER GROWN PLANTS AND LANDSCAPE CANADA GUIDE SPECIFICATION FOR NURSERY STOCK. PLANTS TO BE TRUE TO NAME, TYPE AND FORM, AND BE REPRESENTATIVE OF THEIR SPECIES AND VARIETY. PLANTS TO BE OF GOOD HEALTH, PROPERLY PROPORTIONED, NOT WEAK, INJURED OR THIN.
 - ARBORIST FABRIC TIES AS NOT TO DAMAGE THE TREE. STAKES TO BE 100mm. (FABRIC TIES TO BE ARBORIST OR APPROVED EQUIV.)
 - LANDSCAPE CONTRACTOR TO GUARANTEE PLANT MATERIAL FOR THE STANDARD ONE (1) YEAR MAINTENANCE PERIOD.
 - LANDSCAPE CONTRACTOR IS NOT RESPONSIBLE FOR PLANT LOSS DUE TO THEFT, VANDALISM, OR ANIMALS DURING THE MAINTENANCE PERIOD, OR FAILURE BY STRATA/OWNER TO OPERATE IRRIGATION SYSTEM IN ACCORDANCE TO IRRIGATION DESIGNER'S/IRRIGATION CONTRACTOR'S RECOMMENDED WATERING SCHEDULE.
 - PRUNING OF TREES TO BE DONE BY A CERTIFIED ARBORIST.
 - ALL TREE PITS SHALL BE INSPECTED BY CALID SERVICES LTD. PRIOR TO BACKFILLING.

Plant List	Code	Qty.	Size
Street Trees:			
Prunus serrulata 'Kwanzan' (Flowering Cherry)	PR	2	5cm Cal
Site Trees:			
Acer rubrum 'October Glory' (Red Maple)	AC	1	5cm Cal
Syrax 'Obbasia' (Fragrant Snowbell)	SO	1	5cm Cal
Carpinus betulus 'Frans Fontaine' (Columnar Hornbeam)	CB	1	5cm Cal
Liquidambar styraciflua 'Slender Silhouette' (Columnar Sweetgum)	LS	3	5cm Cal
Hedge:			
Photinia x fraseri (Fraser Photinia)	PH	26	1.2m H
Native Shrubs:			
Ceanothus (California Lilac)	CE	1	#3 Pot
Mahonia nervosa (Cascade Oregon Grape)	MN	43	#2 Pot
Mahonia repens (Creeping Oregon Grape)	MR	15	#1 Pot
Polysichum munifolium (Sword Fern)	SF	53	#1 Pot
Vines & Groundcover:			
Clematis armandi (Evergreen Clematis)	CL	4	#1 Pot
Ornamental Shrubs, Grasses & Perennials:			
Astilbe chinensis (Chinese Astilbe)	AS	15	#1 Pot
Azalea japonica 'Hino White' (White Evergreen Azalea)	AZ	4	#3 Pot
Barberry thunbergii 'Rose Glow' (Barberry)	BR	8	#3 Pot
Carex morrowii 'Fisher' (Variegated Japanese Sedge)	CM	17	#1 Pot
Carex testacea 'Orange Flame' (Sedge)	CT	15	#1 Pot
Echinacea (Purple Coneflower)	EC	3	#2 Pot
Euonymus alata 'Ruby Haag' (Winged Burning Bush)	EU	1	#3 Pot
Hakonechloa macra (Hakone Grass)	HA	32	#1 Pot
Hemerocallis 'Stella de Oro' (Day Lily)	HE	50	#1 Pot
Lavandula angustifolia 'Hidcote Giant' (English Lavender)	LA	25	#3 Pot
Leucothoe fontanesia (Rainbow Fetterbush)	LE	2	#3 Pot
Miscanthus sinensis 'Adagio' (Dwarf Maiden Grass)	MI	1	#3 Pot
Pennisetum alopecuroides 'Hameln' (Dwarf Fountain Grass)	PE	6	#2 Pot
Pieris japonica 'Cavatine' (Dwarf Lily-of-the-Valley)	PJ	62	#1 Pot
Pinus mugo var. 'Pumila' (Dwarf Mugo Pine)	PM	2	#3 Pot
Rhododendron 'Baden Baden' (Dwarf Rhododendron)	RB	21	#2 Pot
Rhododendron 'Percy Wiseman' (Rhododendron)	RO	5	#5 Pot
Sarcococca humilis (Sweetbox)	SA	13	#3 Pot
Shizostylis coccinea (Crimson Flag Lily)	SZ	6	#1 Pot
Spiraea japonica 'Double Play Pink' (Japanese Spiraea)	SP	8	#2 Pot

Notes:

- Planting areas to be irrigated with an automatic drip irrigation system.
- Changes to plant size, quantity, or type to be reviewed & approved in writing by Calid Services Ltd.
- Landscaper contractor to allow for 25 additional #1 size pot plants when pricing the job.
- Vines to be trained up fences. Contractor to provide trellis support for young vines.

FOR DEVELOPMENT PERMIT ONLY
Not for Construction

Dwg. No.	REFERENCE DRAWINGS	DATE

LEGEND	
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	PROP. SHRUBS
	PROP. 1.8m PERIMETER WOOD FENCE
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8985 & 8989 SEVENTH ST. CONDOS
Planting Plan & Notes
Client: Jerry Wakefield Construction Inc.



Drawn	Date
	August 22, 2024
Checked	Project #
Approved	Scale
	as noted
Designed	
	Rev.
L2	5

CANCEL PRINTS BEARING EARLIER LETTER